
Bayside Planning Panel

10/04/2018

Item No	6.3
Application Type	Development Application
Application Number	DA-2017/285
Lodgement Date	03/03/2017
Property	47 Bestic Street, ROCKDALE (PT 23 Sec7 DP 1677) 47 A Bestic Street, ROCKDALE (PT 23 Sec7 DP 1677)
Owner	Ms Anastasia Kalamakis, Ms Eleni Papanikolaou, Mr George Papanikolaou, Mr Michael Papanikolaou
Applicant	Mr Laurie Liskowski
Proposal	Demolition of existing structures and construction of a two storey child care centre with basement car parking accessed from Cameron Street.
No. of Submissions	12 individual letters and 1 petition (59 signatures from 38 properties) to first notification, 9 individual letters (2 from one submitter) and 1 petition (74 signatures from 47 properties) to second notification
Cost of Development	\$ 1,353,926
Report by	Kerry Gordon, Kerry Gordon Planning Services

Officer Recommendation

- 1 That development application DA-2017/285 for demolition of existing structures and construction of a two storey child care centre with basement car parking accessed from Cameron Street at 47-47A Bestic Street, Rockdale be **APPROVED** pursuant to Section 80(1)(a) of the Environmental Planning and Assessment Act 1979 and subject to the conditions of consent attached to this report.
 - 2 That the objectors be advised of the Bayside Planning Panel's decision.
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Attachments

- 1 Assessment Report
- 2 Draft Conditions of Consent
- 3 Amended Site Analysis Plan
- 4 Amended Ground and First Floor Plan
- 5 Amended Basement and Roof Plan
- 6 Amended Elevations Plans
- 7 Amended Sections Plans
- 8 Amended External Finishes Plan
- 9 Amended Landscape Concept Plan

Location Map



47 & 47A Bestic Street Rockdale

BAYSIDE COUNCIL

Planning Assessment Report

Application Details

Application Number:	DA2017/285
Date of Receipt:	3 March 2017
Property:	47 Bestic Street, ROCKDALE (PT 23 Sec7 DP 1677) 47 A Bestic Street, ROCKDALE (PT 23 Sec7 DP 1677)
Owner(s):	Ms Anastasia Kalamakis, Ms Eleni Papanikolaou, Mr George Papanikolaou, Mr Michael Papanikolaou
Applicant:	Mr Lauire Liskowski
Proposal:	Demolition of existing structures and construction of a two storey child care centre with basement car parking accessed from Cameron Street.
Recommendation:	Approval
No. of submissions:	12 individual letters and 1 petition (59 signatures from 38 properties) to first notification, 9 individual letters (2 from one submitter) and 1 petition (74 signatures from 47 properties) to second notification
Author:	Kerry Gordon – Kerry Gordon Planning Services
Date of Report:	1 March 2018

Key Issues

The key issues in the assessment of the application relate to:

1. Acoustic and visual privacy impacts upon neighbouring dwellings;
2. Shadow impact upon neighbouring property;
3. Adequacy of size of indoor play rooms;
4. Location of access;
5. Design of car park;
6. Landscape setting;
7. Staff amenity;
8. Safety of design; and
9. Streetscape.

Recommendation

1. That development application DA-2017/285 for demolition of existing structures and construction of a two storey child care centre with basement car parking accessed from Cameron Street at 47-47A Bestic Street, Rockdale be APPROVED pursuant to Section 80(1)(a) of the Environmental Planning and Assessment Act 1979 and subject to the conditions of consent attached to this report.
2. That the objectors be advised of the Bayside Planning Panel's decision.

Background

Proposal

The proposal seeks to undertake the demolition of existing structures on site and the construction of a two storey child care centre with basement carpark to be accessed via Cameron Street. The centre is proposed to accommodate 50 children (10 x 0-1 years, 8 x 1-2 years, 15 x 2-3 years & 17 x 3-6 years), with 10 staff members, operating 7am 7pm Monday to Friday.

The centre is designed as follows:

Basement

Vehicular entry via dual width driveway from Cameron Street to the rear of the site, adjoining the boundary with No. 34 Cameron Street. The basement provides for 10 parking spaces, with 5 staff spaces and 4 drop-off spaces (including an accessible space). The basement also contains parking for 3 bicycles, a laundry and garbage storage room and contains the OSD tank and mechanical plant. Access from the basement to the two levels of the childcare centre is provided via a lift and stairs.

Ground Floor

The ground floor contains class rooms for 0-1 year olds and 1-2 year olds, with a nappy change room, cot room and bottle preparation area. This level also contains the reception, a meeting room, director's office, kitchen, accessible toilet and staff room with second toilet.

The ground floor is setback 4.5m from Bestic Street, 1.5m from Cameron Street, 9.3m from the rear boundary and 1-2.4m from the eastern boundary.

To the front and rear of the ground floor are two covered, outdoor play areas which are setback 1.5m from that boundary to Cameron Street. The front yard is proposed to be landscaped, along with the 1.5m strip to the Cameron Street frontage and area to the side and rear of the basement driveway. Landscaping is also shown adjacent to the majority of the eastern boundary. Pedestrian access to the child care centre is from Bestic Street.

First Floor

The first floor is to contain a 2-3 year olds room and a 3-5 year olds room with toilets, which are located to the Bestic Street frontage.

The first floor is setback 4.5m from Bestic Street, 1.5m from Cameron Street, 7.6-8.9m from the rear boundary and 1.5-2.4m from the eastern boundary.

To the south of the first floor (to the rear) is an outdoor play area which is setback 1.5m from the Cameron Street boundary and the eastern boundary. The outdoor play area has a roof proposed over approximately half of the area.

The outdoor play area is proposed to have a 1.6m high acoustic balustrade around it with a privacy screens to the same height to the southern and eastern edge of the area, where the adjoining properties are residential.

Site location and context

The subject site is known as Nos. 47 and 47A Bestic Street Rockdale and has a frontage of 15.85m to Bestic Street and a secondary frontage of 45.72m to Cameron Street, with a surveyed site area of 724.7m². The site is currently occupied by 2 x semi-attached, single storey dwelling houses with associated outbuildings. No. 47A Bestic Street has vehicular access via Bestic Street and No. 47 Bestic Street has vehicular access via Cameron Street. The site slopes down 2.5m from Bestic Street to the rear and does not contain any significant vegetation.

Cameron Street is a cul-de-sac, with the road having been closed with the creation of a small pocket park to the immediate west of the subject site (shown in green in the image below).



Subject site in red outline

A power pole/street light is positioned within Cameron Street in close proximity to the existing vehicular crossing, another power pole is located adjoining the Cameron Street frontage and a third power pole is positioned along Bestic Street in front of the site. A substation/transformer is positioned within Bestic and Cameron Street Garden adjoining the site.

The site is zoned R2 low density residential and shares a common boundary with two properties. Adjoining the site to the east, at No. 49 Bestic Street, is a single storey detached dwelling house which is setback approximately 2.8m from the common boundary. The dwelling has 3 ground level windows opposite the common boundary, to a bathroom, living area and dining room. A driveway is located between the dwelling and the common boundary with the subject site which accesses a garage located adjoining the common boundary near the rear boundary of No. 49 Bestic Street.

Adjoining the site to the south, at No. 34 Cameron Street is a single storey dwelling which is located approximately 900mm from the common boundary with the subject site. The dwelling has 3 ground level windows in proximity to the common boundary.

Initial Assessment

An initial assessment was carried out and a letter dated 17 June 2017 was sent to the applicant identifying a number of concerns with the proposal, summarised following:

- Potential concerns with proximity to the substation in adjoining park.
- Concerns with suitability of site in relation to nature of the street, location of the substation and proximity to nearby childcare centres.
- Streetscape character, in particular 1m side setback, 4.5m front setback, height of pitched roof, play area in setback, location of fire stairs, lack of setback to first floor balcony, planter boxes at first floor balcony, pergola in front setback and pedestrian entry and the location of the pram parking area.
- Number of parking spaces for staff.
- Size and number of signs.
- Raised ground floor level and shadow impacts.
- Landscaped area.
- Outdoor play area.
- Indoor play area.
- Acoustic and Plan of Management concerns.
- Kitchen.
- Pedestrian Safety.
- Inadequate information.

Amended Application

In response to the concerns the applicant amended the proposal to reduce the number of children from the original 70 to 50 and redesigned the development. An assessment of the amended application, including under SEPP (Education) resulted in the following matters of remaining concern:

- Acoustic impact of entrance down the side boundary adjoining No. 49 Bestic.
- There is no footpath in the adjoining park in the location of the entry point so there is no accessible path of travel into the childcare centre from the street.
- Poor basement layout given distance of travel from drop off spaces to lift and inability to see if drop off parking is available before entering the basement.
- Two of the internal play areas are substandard sizes for the number of children proposed (Room 1 for 10 children is required to be 32.5m² and is only 29m² and Room 3 for 17 children is required to be 55.25m² and is only 55m²).

- The ground level outdoor space is larger than necessary and the screen landscaped setback to Cameron St is inadequate.
- The staff areas have poor amenity (glass blocks used for privacy preventing outlook or ventilation).
- The screens to the 1st floor outdoor play area are of insufficient height for privacy to No. 34 Cameron St.
- Potential noise from the use of the basement ramp upon No. 34 Cameron St.
- Landscape plan is unclear as the key is not legible.
- Location of elevated structures in outdoor play area on 1st floor raises safety issues.
- The louvres to the 1st floor at the Bestic Street frontage add bulk and should be removed.
- Clarification required of whether first floor outdoor play area is covered or open with cut-outs shown in roof.
- Clarification required on visual privacy from public domain to children's nappy change and WC areas.
- Nappy change and cot rooms not provided with adequate surveillance from play areas.
- Adequacy of solar access to Room 2.
- The elongation of the first floor indoor play rooms reduces their practicality.

A meeting was held with the applicant on 15 December 2017 to address the above issues and further amended plans were provided which were the subject of the second notification.

A final set of amended plans were submitted by the applicant on 8 March 2018 addressing a few issues that had remained outstanding. The 8 March plans are the subject of this report and satisfactorily address the remaining concerns, subject to the recommended conditions.

Statutory Considerations

Environmental Planning and Assessment Act, 1979

An assessment of the application has been undertaken pursuant to the provisions of the *Environmental Planning and Assessment Act, 1979*.

S.79C(1) Matters for Consideration General

S.79C(1)(a)(i) Provisions of Environmental Planning Instruments

The following Environmental Planning Instruments are relevant to this application:

State Environmental Planning Policy (Infrastructure) 2007

The provisions of Clause 45 Determination of Development Applications - Other Development require referral of the proposed development to Ausgrid, where the following is proposed:

- (a) *the penetration of ground within 2m of an underground electricity power line or an electricity distribution pole or within 10m of any part of an electricity tower,*
- (b) *development carried out:*
 - (ii) *immediately adjacent to an electricity substation, or*
 - (iii) *within 5m of an exposed overhead electricity power line.*

Given the proximity of the site to an electricity substation the application was referred to Ausgrid who provided the following (summarised) comments:

This letter is Ausgrid's response under clause 45(2) of the State Environmental planning Policy (Infrastructure) 2007.

The assessment and evaluation of environmental impacts for a new development consent (or where a development consent is modified) is undertaken in accordance with requirements of Section 79C of the Environmental Planning and Assessment Act 1979. One of the obligations upon consent authorities, such as local councils, is to consider the suitability of the site for the development which can include a consideration of whether the proposal is compatible with the surrounding land uses and the existing environment.

In this regard, Ausgrid requires that due consideration be given to the compatibility of proposed development with existing Ausgrid infrastructure, particularly in relation to risks of electrocution, fire risks, Electric & Magnetic Fields (EMFs), noise, visual amenity and other matters that may impact on Ausgrid or the development.

With Regard to: Construction of a two storey child care centre at 47-47A Bestic Street, Rockdale

- *Basement and Ground Floor Plans - DA_01*
- *First Floor and Roof Plan - DA_02*
- *Elevations - DA_03*
- *Survey Plan CCAD5/DATA/3574*

Ausgrid consents to the above mentioned development subject to the following conditions:-

Comment: The conditions requested have been included in the recommendation. In relation to the comments about compatibility of the development with the nearby substation, visual and noise impacts are ameliorated to an appropriate degree by the separation of the structures on the subject site from the substation, as is the fire risk. Ausgrid's response indicates that the kiosk operates well within the World Health Organisation guidelines and as such it is considered the location of the substation is unlikely to impact the health of users of the site in relation to EMFs.

State Environmental Planning Policy (Educational Establishments and Child Care Facilities) 2017

SEPP (Education) came into force on 1 September 2017 and as such was a draft SEPP at the time of lodgement of the application.

The SEPP seeks to consolidate State and local planning policies relating to educational establishments and introduces a common assessment framework for child care facilities in NSW.

SEPP (Education) also introduces nondiscretionary development standards for the development of centre based child care facilities and a Secretary approved Child Care Planning Guideline.

A new concurrence role for the Department of Education will ensure that constructed child care facilities will also comply with National Child Care Laws. SEPP (Education) prevails to the extent of any inconsistency with another environmental planning instrument.

Whilst SEPP (Education) contains savings provisions which require the application to be assessed as if the SEPP had not been made, given the SEPP has been made it is considered to be certain and imminent for the purpose of the assessment and as such it will be given significant weight in the assessment of this application. Accordingly, where the provisions of the SEPP are inconsistent with those of the DCP, the SEPP provisions will be given more weight in the assessment. This applies in particular to the locational, age proportion, requirement for a plan of management and landscape provisions of the DCP.

Clause 22 of SEPP (Education) requires that consent for a centre-based child care facility must not be granted except with the concurrence of the Regulatory Authority if the development does not comply with Regulation 107 relating to indoor unencumbered space requirements or 108 related to outdoor unencumbered space requirements.

Regulations 107 and 108 respectively required 3.25m² of unencumbered indoor space per child and 7m² of unencumbered outdoor space per child and the compliance with the regulations is shown in the following table.

Indoor Space			
Space	Required	Provided	Complies
Room 1 – 10 children	32.5m ²	32.7m ²	Yes
Room 2 – 8 children	26m ²	26.6m ²	Yes
Room 3 – 17 children	55.25m ²	57m ²	Yes
Room 4 – 15 children	48.75m ²	48.9m ²	Yes
Outdoor Space			
Ground level - 10	70m ²	70m ²	Yes
Ground level - 8	56m ²	56.5m ²	Yes
First level - 32	224m ²	224m ²	Yes

Clause 23 of SEPP (Education) requires the provisions of the *Child Care Planning Guidelines* to be considered prior to determining an application for a child care facility. An assessment against the Guidelines is contained in the following section of this report.

Clause 25 of SEPP (Education) provides non-discretionary development standards applying to development applications for child care centres, which are addressed following and which, if complied with, mean a consent authority cannot require more onerous standards for consent.

Development Standard	Required	Provided	Complies
Location	Development may be located any distance from existing childcare centres	-	Yes
Indoor Space	3.25m ² per child	3.25m ² per child	Yes
Outdoor Space	7m ² per child	7m ² per child	Yes
Site Area	No minimum	724.7m ²	Yes
Dimensions	No minimum	15.85m	Yes
Colour Scheme	Can be any colour	-	Yes

Clause 26 of SEPP (Education) provides that DCP controls, requirements or standards in relation to the following for centre-based childcare facilities are overridden by SEPP (Education) and have no effect.

- Operational or management plans or arrangements (including hours);
- Demonstration of need for service;
- Proximity to other childcare facilities;
- Any matter contained in the design principles of Part 2 of the *Child Care Planning Guidelines*;
- The matters for consideration in Part 3 or the regulatory requirements in Part 4 of the *Child Care Planning Guideline* (other than in relation to building height, side and rear setbacks or car parking rates).

Child Care Planning Guidelines 2017

The Part 2 Design Quality Principles are considered in the following table.

Principle	Provided	Complies
<p>Principle 1 - Context</p> <p>Good design responds and contributes to its context, including the key natural and built features of an area, their relationship and the character they create when combined. It also includes social, economic, health and environmental conditions.</p> <p>Well-designed child care facilities respond to and enhance the qualities and identity of the area including adjacent sites, streetscapes and neighbourhood.</p>	<p>The design of the proposal is generally appropriate to the character of the area, having the height and bulk of a large dwelling house.</p> <p>Whilst this is different from the scale of existing surrounding older dwellings, it does reflect the desired future character in relation to the height and FSR controls applicable to the site.</p>	Yes

Well-designed child care facilities take advantage of its context by optimising nearby transport, public facilities and centres, respecting local heritage, and being responsive to the demographic, cultural and socio-economic makeup of the facility users and surrounding communities.	The site is suitably located on a bus route running along Bestic Street	
<p>Principle 2 - Built Form</p> <p>Good design achieves a scale, bulk and height appropriate to the existing or desired future character of the surrounding area.</p> <p>Good design achieves an appropriate built form for a site and the building's purpose in terms of building alignments, proportions, building type, articulation and the manipulation of building elements. Good design also uses a variety of materials, colours and textures.</p> <p>Appropriate built form defines the public domain, contributes to the character of streetscapes and parks, including their views and vistas, and provides internal amenity and outlook.</p> <p>Cotemporary facility design can be distinctive and unique to support innovative approaches to teaching and learning, while still achieving a visual appearance that is aesthetically pleasing, complements the surrounding areas, and contributes positively to the public realm.</p>	<p>The scale and bulk of the development is consistent with that anticipated in the controls applicable to the area.</p> <p>The built form is appropriate in terms of alignment and proportions. The colours and materials proposed are acceptable for a contemporary building within the streetscape, it being noted that SEPP (Education) does not allow refusal on the basis of colours.</p> <p>The development incorporates a pitched roof form (albeit not a traditional one) at the street frontage and generally steps down in overall height towards the rear of the property by virtue of the outdoor play area at first floor level being located towards the rear.</p>	Yes
<p>Principle 3 – Adaptive Learning Spaces</p> <p>Good facility design delivers high quality learning spaces and achieves a high level of amenity for children and staff, resulting in buildings and associated infrastructure that are fit-for-purpose, enjoyable and easy to use. This is achieved through site layout, building design, and learning spaces fit-out.</p>	The internal space design is appropriate for the age groups.	Yes

<p>Good design achieves a mix of inclusive learning spaces to cater for all students and different modes of learning. This includes appropriately designed physical spaces offering a variety of settings, technology and opportunities for interaction.</p>	<p>The internal and external spaces provide a suitable mix of learning and play areas.</p>	
<p>Principle 4 – Sustainability</p> <p>Sustainable design combines positive environmental, social and economic outcomes.</p> <p>This includes use of natural cross ventilation, sunlight and passive thermal design for ventilation, heating and cooling reducing reliance on technology and operation costs. Other elements include recycling and re-use of materials and waste, use of sustainable materials and deep soil zones for groundwater recharge and vegetation.</p> <p>Well-designed facilities are durable and embed resource efficiency into building and site design, resulting in less energy and waste consumption, less generation of waste and air emissions and reduced operational cost.</p>	<p>Adequate passive solar access and natural ventilation is provided for the internal play rooms and external play areas which will reduce energy consumption during operation.</p>	<p>Yes</p>
<p>Principle 5 – Landscape</p> <p>Landscape and buildings should operate as an integrated and sustainable system, resulting in attractive developments with good amenity. A contextual fit of well-designed developments is achieved by contributing to the landscape character of the streetscape and neighbourhood.</p> <p>Well-designed landscapes make outdoor spaces assets for learning. This includes designing for diversity in function and use, age-appropriateness and amenity.</p>	<p>The landscape design provides an acceptable landscaped setting as viewed from the Bestic Street and the adjoining park, with the exception of the location of the pram parking area. A condition of consent is recommended requiring the pram parking area to be relocated to the western side of the entrance, parallel with the outdoor play area and to be screened behind landscaping to improve streetscape presentation and security for users.</p>	<p>Yes, subject to conditions</p>

<p>Good landscape design enhances the development's environmental performance by retaining positive natural features which contribution to the local context, co-ordinating water and soil management, solar access, micro-climate, tree canopy, habitat values and preserving green networks.</p>	<p>The landscaped setting as viewed from No. 49 Bestic Street is shown in the amended plans but the plans are not accompanied by an amended landscape plan. A condition requiring the landscaping plan to be amended to provide the eastern boundary with native species to reach a minimum height of 3m is recommended.</p> <p>Whilst the landscape setting at the rear of the property is reduced (compared to a traditional dwelling setting) by the location of the driveway, subject to appropriate planting, the setting will be adequate for the scale of the development. A condition to this effect is recommended.</p>	
<p>Principle 6 – Amenity</p> <p>Good design positively influences internal and external amenity for children, staff and neighbours. Achieving good amenity contributes to positive learning environments and the well-being of students and staff.</p> <p>Good amenity combines appropriate and efficient indoor and outdoor learning spaces, access to sunlight, natural ventilation, outlook, visual and acoustic privacy, storage, service areas and ease of access for all age groups and degrees of mobility.</p> <p>Well-designed child care facilities provide comfortable, diverse and attractive spaces to learn, play and socialise.</p>	<p>The amenity of the internal and external play areas is appropriate, as is the amenity of the staff rooms.</p> <p>The proposal provides for appropriate accessibility.</p>	<p>Yes</p>
<p>Principle 7 – Safety</p> <p>Well-designed child care facilities optimise the use of the built and natural environment for learning and play, while utilising equipment, vegetation and landscaping that has a low health</p>	<p>The design of the proposal has an appropriate low health and safety risk.</p>	<p>Yes</p>

<p>and safety risk, and can be checked and maintained efficiently and appropriately.</p> <p>Good child care facility design balances safety and security with the need to create a welcoming and accessible environment. It provides for quality public and private spaces that are inviting, clearly defined and allow controlled access for members of the community. Well-designed child care facilities incorporate passive surveillance and Crime Prevention Through Environmental Design (SPTED).</p>	<p>The delineation of private and public spaces is appropriate and an appropriate level of casual surveillance is available whilst protecting the privacy of the children using the centre.</p>	
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The Part 3 Matters for Consideration are considered in the following table.

Matter for Consideration	Provided	Complies
<p><i>Site Selection and Location</i></p> <p>C1 – In residential zone consider acoustic and privacy impacts, setbacks and siting within context and traffic and parking impact.</p>	<p>The site is suitably located for a childcare centre with appropriate acoustic and privacy measures either proposed or recommended by condition.</p> <p>The setbacks proposed are generally compliant and subject to improved landscaping, as conditioned, are appropriate.</p> <p>Council's traffic engineer has raised no objection to the site in relation to traffic generation or parking impact, with onsite parking provision being compliant with the DCP (1 space in excess of minimum required).</p>	<p>Yes</p>

	<p>Council's engineer indicates that whilst traffic in Cameron Street will be increased, the increased level of traffic will remain under the environmental threshold of 200v/h.</p> <p>The increased traffic will not result in an unacceptable level of service at intersections and as such no objection is raised to accessing the centre from a cul-de-sac.</p>	
<p>C2 – When selecting a site ensure:</p> <ul style="list-style-type: none"> • surrounding uses are compatible, • site is environmentally safe (flooding, land slip, bushfires, coastal hazards), • no contamination, • characteristics of site suitable for scale and type of development (street frontage, lot configuration, dimensions, size, number of boundaries with residential properties, • environmental impacts (sensitive environment or cultural areas), • suitable drop off and pick up areas and off and on-street parking, • type of adjoining road is suitable, and • not located in close proximity to incompatible social activities (eg, restricted premises, injecting rooms, drug clinics, licensed premises, gambling premises, sex services). 	<p>The site adjoins residential uses and a park and does not contain any environmental hazards.</p> <p>The site has no history to suggest contamination.</p> <p>The characteristics of the site are appropriate and it is not located adjoining any sensitive environmental or cultural areas or any incompatible social activities.</p> <p>Drop off and pick up areas are provided in the basement.</p> <p>The adjoining road type is suitable. The site is not located on a classified road or one carrying hazardous goods.</p>	Yes
<p>C3 – Child care facility should be located:</p>		

<ul style="list-style-type: none"> • near compatible social uses (eg. Schools, parks, community facilities, place of public worship); • near employment areas, town centres, business centres, shops; • within access to public transport including rail, buses, ferries; and • in areas with pedestrian connectivity to local community. 	<p>Site is located adjacent to pocket park.</p> <p>The site is appropriately located proximate to bus services and has connectivity with the local community.</p>	Yes
<p>C4 – Avoid proximity to:</p> <ul style="list-style-type: none"> • Heavy or hazardous industry, waste transfer or land fill; • LPG tanks or service stations; • Water cooling and warming systems; • Odour (and other air pollutant) generating sources or zones where such is permitted. 	<p>The site is not in proximity of any of these.</p>	Yes
<p>Local Character, Streetscape and the Public Domain Interface</p> <p>C5 – The proposed development should:</p> <ul style="list-style-type: none"> • Contribute to character of locality; • Reflect predominant form of surrounding land uses, particularly in low density residential areas; • Recognise predominant streetscape qualities such as building form, scale, materials and colour; • Respond to and integrate with exiting streetscape; • Use landscaping to contribute to streetscape and neighbouring amenity; and • Integrate car parking into building and landscape design in residential areas. 	<p>The built form is appropriate in terms of alignment, proportions and landscape setting (subject to the recommended conditions).</p> <p>The proposed building materials and colours are appropriate for the contemporary design proposed.</p> <p>An appropriate landscaped setting is provided to the development, subject to the recommended conditions, which is accessible and welcoming.</p> <p>Parking is under the building.</p>	Yes
<p>C6 – Create clear threshold transitioning between public and private realms, including:</p>		

<ul style="list-style-type: none"> • Fencing for safety entering and leaving facility; • Windows facing towards public domain; and integrating landscaping with fencing. 	Appropriate fencing for safety is provided at the entrance and the design appropriately has windows/doors facing the public domain.	Yes
C7 – On sites with multiple buildings/entries, differentiate to provide improved legibility by changing materials, landscaping and colours.	N/A	N/A
<p>C8 – Where adjoining parks provide appealing streetscape frontage by:</p> <ul style="list-style-type: none"> • Defining street access, pedestrian paths and building entries; • Low fencing and planting delineating communal/private areas; and • Minimise use of blank walls and high fences. 	The design provides an appropriate street access point from Bestic Street with appropriate fences and landscaping.	Yes
C9 – Front fences and walls within front setback to be visually permeable and in accordance with local provisions is heritage item or conservation area.	The proposed fences are generally low, with a height of 1.2-1.5m which is acceptable, with timber slats proposed above a low brick wall. A condition is recommended to ensure the timber slats are at least 50% open.	Yes
C10 – High solid acoustic fencing may be used when shielding from noise on classified road, but should be setback from boundary with screen landscaping of similar height in front.	N/A	N/A
<p>Building Orientation, Envelope and Design</p> <p>C11 – Orient and design to:</p> <ul style="list-style-type: none"> • Ensure visual privacy and minimise noise and overlooking by: <ul style="list-style-type: none"> - Facing doors/windows away from neighbouring private open space, living rooms and bedrooms; - Play equipment away from common boundaries; and - Outdoor play areas away from dwellings. 	<p>The design generally provides for appropriate visual and acoustic privacy.</p> <p>The ground floor indoor play rooms are oriented away from the adjoining residential properties, fronting Cameron Street and the first floor rooms front Bestic Street. Visual privacy screen measures are provided to the southern and eastern</p>	Yes

<ul style="list-style-type: none"> • Optimise solar access to internal and external play areas; • Avoid overshadowing of residences; • Minimise cut and fill; • Ensure buildings define street by facing it; • Where above ground, outdoor play areas are protected from wind/climatic conditions. 	<p>side of the first floor outdoor play area to protect the amenity of the adjoining dwellings at 34 Cameron Street and 49 Bestic Street.</p> <p>The design provides a reasonable degree of solar access to the internal and external spaces, whilst also providing sun protection.</p> <p>The design minimises the shadow impact upon the habitable side windows of 49 Bestic Street, retaining a similar level of solar access to the window as currently exists. Shadow impact upon the windows of 34 Cameron Street is also acceptable.</p> <p>The proposal involves cut (for the basement garage) and has a partially elevated floorplate (towards the rear). This is reasonable given the slope of the site and the need to provide a level internal and external play area for accessibility.</p> <p>The building is designed to face Bestic Street.</p> <p>The above ground outdoor play area has protection from the elements, with 1.6m high screening and/or walls surrounding it and being partially covered.</p>	
<p>C12 – Minimise impact on local character by considering:</p> <ul style="list-style-type: none"> • Consistency of height with other buildings; • Respond to scale and character; Setback to allow adequate privacy for neighbours and children; • Setback to allow adequate access for maintenance; and 	<p>The proposal has an appropriate height and responds reasonably to the character of the area notwithstanding it has a different height and bulk to surrounding development, being consistent with the</p>	<p>Yes</p>

<ul style="list-style-type: none"> Setback from street to be consistent with existing character. 	<p>desire future character set by the height and FSR controls. The proposed setbacks provide for adequate landscaping and privacy to neighbours and to allow maintenance access.</p> <p>The setback from the street is generally consistent with the character of the area.</p>	
C13 – Where no prevailing setback controls minimum setback on classified road 10m and other roads average of two closest buildings.	N/A	N/A
C14 – On residential land side and rear setbacks to match prevailing setbacks required for dwelling house.	The side setback is generally consistent with the prevailing setback but the rear setback is not, with part of the building proposed in the traditional rear yard portion of the site. Notwithstanding this, the design is considered to provide appropriate separation from the building to No. 34 Cameron Street, with 7.6m - 8.9m separation at the upper level	Yes
<p>C15 – Built form to contribute to character in relation to:</p> <ul style="list-style-type: none"> Context of built form, neighbourhood character, streetscape quality and heritage; Contribute to identity of place; Retain and reinforce existing built form and vegetation; Consider heritage; Respond to natural environment; and Contribute to identity of place. 	The site contains no significant natural environment elements or vegetation. The bulk and scale are appropriate. The site is located proximate to an item of heritage but is sufficiently separated to have a detrimental impact.	Yes
<p>C16 – Entry is to be limited to one secure point which is:</p> <ul style="list-style-type: none"> Located to allow ease of access for pedestrians; Directly accessible from the street where possible; Directly visible from the street; Easily monitored; 	<p>The entry location is appropriate, being from Bestic Street.</p> <p>It is directly visible from Bestic Street, adjoins the</p>	Yes

<ul style="list-style-type: none"> • Not accessed through an outdoor play area; and • In a mixed use development, clearly defined and separated from other entrances. 	reception area and is not accessed via a play area.	
<p>C17 – Accessible design achieved by:</p> <ul style="list-style-type: none"> • Provide accessibility to and within building in accordance with legislation; • Link key areas by level or ramped pathways; • Provide continuous path of travel within building, from street and car park – avoiding platform lifts.; and • Minimise ramps by providing entries and ground floor relative to footpath level. 	The proposal achieves an appropriate level of accessibility.	Yes
<p>Landscaping</p> <p>C18 – Provide appropriate planting along boundary integrated with fencing and screen planting not included in calculation of unencumbered space. Use existing landscaping where feasible to provide high quality landscape area by:</p> <ul style="list-style-type: none"> • Reflecting and reinforcing local context; and • Incorporating natural features (trees, rocky outcrops, vegetation communities). 	<p>The screen planting has not been included in the calculation of unencumbered space.</p> <p>The landscaped setting to both streets is appropriate subject to the relocation of the pram parking area as has been previously discussed.</p>	Yes
<p>C19 – Incorporate carpark into landscape design by:</p> <ul style="list-style-type: none"> • Planting shade trees in large car parks; • Taking account streetscape when siting car parking in front setback; and • Using low level landscaping to screen parking areas. 	N/A – car park underground.	N/A
<p>Visual and Acoustic Privacy</p> <p>C20 – Open balconies in mixed use developments should not overlook facilities.</p>	N/A	N/A
<p>C21 – Minimise direct overlooking of indoor and outdoor play areas by:</p>		

<ul style="list-style-type: none"> • Appropriate site and building layout; • Suitable location of paths, windows and doors; and • Screening and landscaping. 	The design is generally acceptable in terms of minimising direct overlooking.	Yes
<p>C22 – Minimise overlooking of main internal living areas and private open space in dwellings by:</p> <ul style="list-style-type: none"> • Appropriate site and building layout; • Suitable location of paths, windows and doors; and • Screening and landscaping. 	The design is generally acceptable in terms of minimising direct overlooking.	Yes subject to condition
<p>C23 – Development should:</p> <ul style="list-style-type: none"> • Provide acoustic fencing along boundary with adjoining property; and • Ensure mechanical plant is screened by acoustic screen. 	Acoustic fencing is provided and a condition of consent will ensure appropriate acoustic treatment to mechanical plant.	Yes subject to condition
<p>Noise and Air Pollution</p> <p>C25 – Minimise impact of noise by:</p> <ul style="list-style-type: none"> • Providing physical separation; • Orient perpendicular to noise source/buffer; • Use landscaping to reduce perception of noise; • Limit openings facing noise; • Double or acoustic glazing, louvres or wintergardens; • Materials with mass/sound insulation or absorption qualities; and • Locating cot rooms, sleeping areas and play areas away from external noise. 	The design, in conjunction with the measures in the acoustic report, will ensure an appropriate acoustic environment for the children.	Yes
<p>C26 – Acoustic report to identify noise levels for sleeping areas and noise attenuation measures where located:</p> <ul style="list-style-type: none"> • On industrial zoned land; • ANEF contour between 20 and 25; • Railway or mass transit corridor; • Major or busy road; and • Other land impacted by substantial noise. 	Acoustic report provided detailing attenuation measures proposed.	Yes

C27 – Locate on sites which minimise impact of external sources of air pollution such as major roads and industrial development.	The site is not located where impact from significant external sources of air pollution will occur.	Yes
C28 – Air quality report to demonstrate compliance with standards on major roads or industrial development. Report is to minimise air pollution by such as: <ul style="list-style-type: none"> • Appropriate separation; • Landscaping to filter; and • Incorporate ventilation in design. 	N/A	N/A
Hours of Operation C29 – Hours of operation where predominantly residential confined to 7am – 7pm weekdays. May be extended if adjoining non-residential uses.	7am-7pm proposed in residential area	Yes
C30 – In mixed use area hours assessed with respect to compatibility of adjoining uses.	N/A	N/A
Traffic, Parking and Pedestrian Circulation C31 – Off- street parking provided at rates in DCP. Where DCP does not provide rates provide: Within 400m of train station: 1/10 children 1/2 staff (may be stacked) Other areas 1/4 child Potential reductions for adaptive re-use of heritage item, in B8 zone, in proximity to high frequency public transport, co-located with other uses with parking or where sufficient on-street parking available.	DCP applies and the proposal complies with the DCP controls, providing 1 space in excess of the minimum required.	N/A
C32 – In commercial/industrial zones or mixed use, on-street parking considered only where no conflicts (ie no high levels of vehicle movement or potential conflicts with trucks and large vehicles).	N/A	N/A
C33 – Traffic and parking study required to address impacts and any	The report was accompanied by a parking and traffic report and no	Yes

<p>variations to parking rates and demonstrate that:</p> <ul style="list-style-type: none"> • Amenity will not be affected; and • No impact on safe operation of road network. 	<p>objection to the findings of the report have been raised by Council's traffic engineer.</p>	
<p>C34 – Alternative access provided on sites fronting:</p> <ul style="list-style-type: none"> • Classified road; or • Roads carrying freight traffic or transporting dangerous goods or hazardous materials. <p>Alternative access must consider:</p> <ul style="list-style-type: none"> • Prevailing traffic conditions; • Pedestrian and vehicle safety (including bicycle); and • Likely impact of development on traffic. 	<p>The site is not located on a classified road or one carrying hazardous goods.</p> <p>The design of the vehicular access has addressed traffic conditions, pedestrian and vehicle safety and the likely impact of the development on traffic. Council's engineer raises no concerns in this regard.</p>	Yes
<p>C36 – May include the following for safe pedestrian environment:</p> <ul style="list-style-type: none"> • Separate pedestrian access from car park to facility; • Defined pedestrian crossing in large car parks; • Separate pedestrian and vehicle entries from street; • Pedestrian paths to enable 2 prams to pass; • Delivery/loading areas away from pedestrian access; • In commercial/industrial/ mixed use path of travel from car park to entrance physically separated from truck circulation/parking area; and • Vehicles enter and leave in forward direction. 	<p>An appropriate marked pedestrian path is provided in the basement to allow safe access.</p> <p>Cars will be able to enter and leave the car park in a forward direction.</p>	Yes
<p>C37 – Mixed use should include:</p> <ul style="list-style-type: none"> • Driveway access and parking separate to parking and manoeuvring for trucks; • Drop off and pick up exclusively available for facility (in operating hours), close to entrance and preferably at same level – or avoid crossing driveway used by other vehicles; and 	N/A	N/A

<ul style="list-style-type: none"> • Parking separate from other uses and conveniently located near entrance. 		
<p>C38 – Car park design should:</p> <ul style="list-style-type: none"> • Include child safe fence to separate from building entrance and play area; • Provide clearly marked accessible parking as close as possible from entrance; and • Include wheelchair and pram accessible parking. 	<p>The car park is underground and the driveway is separated from the outdoor play area by a wall and two sets of stairs.</p> <p>The location of the accessible parking space is in reasonable proximity to the lift.</p>	Yes

The Part 4 Applying the National Regulations to Development Proposals is considered in the following table.

Regulation	Provided	Complies
<p><i>Indoor Space Requirements</i></p> <p>Regulation 107 – 3.25m² unencumbered indoor space required per child – unencumbered space excludes passageway, WCs, nappy change area, bottle preparation area, storage area, administration, staff area, kitchens, laundry, other spaces not suitable for children.</p>	See previous table.	Yes
<p><i>Laundry and Hygiene Facilities</i></p> <p>Regulation 106 – Laundry must be provided or other arrangement made for dealing with soiled clothing, nappies and linen.</p>	Laundry provided in basement.	Yes
<p><i>Toilet and Hygiene Facilities</i></p> <p>Regulation 109 – Adequate, developmentally and age-appropriate toilet, washing and drying facilities provided which are located to enable safe and convenient use by children (direct access from indoor and outdoor spaces).</p>	Adequate facilities provided	Yes
<p><i>Ventilation and Natural Light</i></p> <p>Regulation 110 – Must be well ventilated and have adequate natural light.</p>	All child care rooms are provided with adequate light and ventilation. Staff rooms are provided with adequate ventilation.	Yes
<i>Administrative Space</i>		Yes

Regulation 111 – A service must provide adequate area for conducting administrative functions, counselling with parents and conducting private conversations.	The design provides a reception and meeting room.	
<i>Nappy Change Facilities</i> Regulation 112 – Must provide hygienic facilities for nappy changing and bathing for babies/toddlers with a bench, baby bath, hand cleaning facilities and storage positioned to enable supervision from play areas.	Nappy change areas provided.	Yes
<i>Premises Designed to Facilitate Supervision</i> Regulation 115 – Design must ensure rooms and facilities permit the supervision of children at all times having regard to the ability to maintain rights and dignity.	Generally well-designed.	Yes
<i>Emergency and Evacuation Procedures</i> Regulations 97 and 168 – identifies procedures required.	Requirement for latter stage of approval.	N/A
<i>Outdoor Space Requirements</i> Regulation 108 – 7m ² unencumbered outdoor space required per child – unencumbered space excludes pathways, car parking, storage area, laundry, other spaces not suitable for children.	Yes. See previous table.	Yes
<i>Natural Environment</i> Regulation 113 – Ensure outdoor environment allows children to explore and experience the natural environment.	Indicated on landscape plan – appropriate.	Yes
<i>Shade</i> Regulation 114 - Ensure that outdoor spaces include adequate shaded areas to protect children from the sun.	Adequate covered areas are provided within the outdoor play areas.	Yes
<i>Fencing</i> Regulation 104 – Outdoor space must be enclosed by a fence or barrier that is of a height to prevent children going through, over or under it.	Suitable fencing is proposed.	Yes
<i>Soil Assessment</i>		

Regulation 25 – Service application requires provision of soil test.	Requirement for latter stage of approval.	N/A
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State Environmental Planning Policy 64 – Advertising and Signage

SEPP 64 is applicable to the proposed signage. The application includes two proposed signs, both located on the fencing, with one business identification sign facing Bestic Street and a sign identifying the location of the car park facing Cameron Street. The business identification signage is to be 2m long by 0.7m high and to contain the name and logo of the childcare centre.

Prior to granting consent for signage it must be consistent with the objectives of SEPP 65 as follows:

- (a) *to ensure that signage (including advertising):*
 - (i) *is compatible with the desired amenity and visual character of an area, and*
 - (ii) *provides effective communication in suitable locations, and*
 - (iii) *is of high quality design and finish, and*

The signage is simple, of appropriate size and design and is appropriately located on the fence, being of a size that will not be intrusive in the streetscape

- (b) *to regulate signage (but not content) under Part 4 of the Act, and*

Noted.

- (c) *to provide time-limited consents for the display of certain advertisements, and*

The signage is a building identification sign and as such is not an advertisement.

- (d) *to regulate the display of advertisements in transport corridors, and*

The site is not located in a transport corridor.

- (e) *to ensure that public benefits may be derived from advertising in and adjacent to transport corridors.*

The site is not located in or adjacent to a transport corridor.

Further, SEPP 64 requires assessment of any sign against the Schedule 1 Assessment Criteria, which is provided following.

1 **Character of the area**

- *Is the proposal compatible with the existing or desired future character of the area or locality in which it is proposed to be located?*
- *Is the proposal consistent with a particular theme for outdoor advertising in the area or locality?*

The signage is appropriate to and compatible with the area. There is no theme for outdoor advertising in the locality.

2 Special areas

- *Does the proposal detract from the amenity or visual quality of any environmentally sensitive areas, heritage areas, natural or other conservation areas, open space areas, waterways, rural landscapes or residential areas?*

The signage to the Bestic Street frontage will not detract from the amenity or visual quality of any of the identified areas, being of reasonable size and location. The sign to the Cameron Street frontage is small and gives directional advice and is satisfactory.

3 Views and vistas

- *Does the proposal obscure or compromise important views?*
- *Does the proposal dominate the skyline and reduce the quality of vistas?*
- *Does the proposal respect the viewing rights of other advertisers?*

The signage is located on a fence and as such does impact any of the above.

4 Streetscape, setting or landscape

- *Is the scale, proportion and form of the proposal appropriate for the streetscape, setting or landscape?*
- *Does the proposal contribute to the visual interest of the streetscape, setting or landscape?*
- *Does the proposal reduce clutter by rationalising and simplifying existing advertising?*
- *Does the proposal screen unsightliness?*
- *Does the proposal protrude above buildings, structures or tree canopies in the area or locality?*
- *Does the proposal require ongoing vegetation management?*

The signs are appropriate to the streetscape and form of the development and appropriately identifies the use of the site and the location of the car park without clutter or unsightliness. The signs do not require ongoing vegetation management or protrude above structures or buildings in the area.

5 Site and building

- *Is the proposal compatible with the scale, proportion and other characteristics of the site or building, or both, on which the proposed signage is to be located?*
- *Does the proposal respect important features of the site or building, or both?*
- *Does the proposal show innovation and imagination in its relationship to the site or building, or both?*

The signs are compatible with the scale of the building and respect the important features of the building being appropriately located on the fence.

6 Associated devices and logos with advertisements and advertising structures

- *Have any safety devices, platforms, lighting devices or logos been designed as an integral part of the signage or structure on which it is to be displayed?*

The signs have no lighting, platforms or safety devices and no logo is proposed other than that of the childcare centre, which is appropriate.

7 Illumination

- *Would illumination result in unacceptable glare?*
- *Would illumination affect safety for pedestrians, vehicles or aircraft?*
- *Would illumination detract from the amenity of any residence or other form of accommodation?*
- *Can the intensity of the illumination be adjusted, if necessary?*
- *Is the illumination subject to a curfew?*

The signs are not proposed to be illuminated and a condition to this effect is recommended for any consent issued.

8 Safety

- *Would the proposal reduce the safety for any public road?*
- *Would the proposal reduce the safety for pedestrians or bicyclists?*
- *Would the proposal reduce the safety for pedestrians, particularly children, by obscuring sightlines from public areas?*

The proposed signs have no detrimental implications for safety.

Rockdale Local Environmental Plan 2011

Relevant clauses	Compliance with objectives	Compliance with standard/provision
2.3 Zone R2 Low Density Residential	Yes	Yes
2.7 Demolition requires consent	Yes	Yes
4.3 Height of buildings – 8.5m	Yes	7.7m Yes
4.4 Floor space ratio Residential Zones - 0.5:1	Yes	358.2m ² , 0.5:1 Yes
5.9 Preservation of trees or vegetation	Yes	Yes
5.9AA Trees or vegetation not prescribed by development control plan	Yes	See discussion
5.10 Heritage conservation	Yes	See discussion
6.1 Acid Sulfate Soil Class 5	Yes	See discussion
6.2 Earthworks	Yes	See discussion
Between 25 and 30 ANEF (2033) contours	Yes	See discussion
6.4 Airspace operations	Yes	See discussion
6.7 Stormwater	Yes	Yes
6.12 Essential services	Yes	Yes

Clause 2.3 Zone R2 Low Density Residential

The subject site is zoned R2 Low Density Residential under the provisions of Rockdale Local Environmental Plan 2011 (RLEP 2011). The proposal is defined as a child care centre and is permissible subject to development consent. The proposed signage is ancillary to the use of the building.

The relevant objectives of the zone in relation to the proposal are as follows:

- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To ensure that land uses are carried out in a context and setting that minimises any impact on the character and amenity of the area.*

The proposal is consistent with the first objective, providing a service to meet the day to day needs of residents. The proposal is also consistent with the second objective, with the design having similar bulk and scale to that of a large dwelling and incorporating an appropriate pitched roof element. The landscape setting of the proposal is appropriate to the character of the area, subject to the recommended conditions.

Clause 5.9AA Trees or vegetation not prescribed by development control plan

The proposal involves the removal of small shrubs and trees less than 2m in height from the subject site, this includes a small Christmas Bush along the eastern boundary. This tree is not of a species or kind prescribed for the purposes of clause 5.9 by a development control plan made by the Council and therefore its removal is permitted without development consent.

Clause 5.10 Heritage conservation

The proposed development is located in the vicinity of heritage item at No. 58 Bestic Street Rockdale known as 'Rock Lynn'. This site contains a federation house and is identified as follows in the local heritage register:

"Rock Lynn was a single storey Federation residence distinctive for its rusticated sandstone walling and for the substantial sandstone outcrop in the front yard. It is situated on an elevated, corner block and overlooks Botany Bay. The building originally featured a hipped and gable roof with a front facing gable with a simple gable end. The walls are clad in rock faced, random coursed sandstone, likely to have been quarried from the local area. A veranda extends around two sides of the building and has been restored with timber Federation style detailing. French doors open from the living areas onto the veranda. The veranda features Federation period timber brackets and posts and a battened gable end.

A sewer vent is located in the back yard. The building has had a large obtrusive additional storey built over the northern end with a two storey veranda built with faux Federation details. There is a garage structure at the southern end."

The proposed development is sufficiently separated from the heritage item and of such bulk and scale that it will not detract from the significance of the item.

Clause 6.1 Acid Sulfate Soil Class 5

Acid Sulfate Soils (ASS) – Class 5 affects the property. However, an acid sulfate management plan is not required as the site is not within 500 metres of adjacent Class 1, 2, 3 or 4 that is below 5 AHD.

Clause 6.2 Earthworks

The proposal involves extensive excavation within the site to accommodate a proposed basement level. The impacts of the proposed earthworks have been considered in the assessment of this proposal. Minimal impacts on the amenity of surrounding properties, drainage patterns and soil stability are anticipated. The proposal meets the objectives of this clause.

Clause 6.3 Between 25 and 30 ANEF (2033) contours

The development is on land that is not located near the Sydney (Kingsford Smith) Airport, however the land is located between 25 and 30 ANEF (2033) contours. Further, the development will result in an increase in the number of people affected by aircraft noise and in accordance with this clause, noise amelioration measures are required for the proposed development.

The proposal was accompanied by an Acoustic Report prepared by Acoustic Logic which addresses the matter of aircraft noise and details noise amelioration measures to be incorporated into the construction of the development in order to minimise aircraft noise impacts, in compliance with the Australian Standards for indoor design sound levels. The proposed development complies with the requirements and objectives of this clause.

Clause 6.4 Airspace operations

The proposed development is affected by the 44AHD Obstacle Limitation Surface (OLS). The proposed building height is at 7.7m (33.95RL) and in this regard, it is considered that the proposed building will have minimal adverse impact on the OLS. The proposal was referred to SACL whom raised no objection to proposed structures on site to a maximum height of RL 34 AHD.

S.79C(1)(a)(ii) Provisions of any Draft EPI's

Draft ISEPP

The NSW Department of Planning has released for public comment its amendments to the State Environmental Planning Policy (Infrastructure) 2007 (the Infrastructure SEPP). The amendments to the Infrastructure SEPP propose to simplify the delivery and maintenance of social infrastructure including health facilities, correctional centres, emergency and police services, and council services.

They will simplify the approval process while still ensuring appropriate levels of environmental assessment and consultation are undertaken for these activities. The draft changes do not affect the proposed development.

S79C(1)(a)(iii) Provisions of any Development Control Plan

The following Development Control Plan is relevant to this application:

Rockdale Development Control Plan 2011

The application is subject to Rockdale DCP 2011, however, subject to the provisions of SEPP (Education), the only provisions of the DCP related to child care facilities that remain applicable to the application are those relating to building height, side and rear setbacks and car parking rates. A compliance table for the proposed development in relation to those matters and general matters follows.

Relevant clauses	Compliance with objectives	Compliance with standard/provision
4.1.1 Views and Vista	Yes	Yes
4.1.2 Heritage Conservation	Yes	Yes
4.1.3 Water Management	Yes	Yes
4.1.4 Soil Management	Yes	See discussion
4.1.5 Contaminated Land	Yes	Yes
4.1.6 Development on Sloping Sites	Yes	See discussion
4.1.7 Tree Preservation	Yes	Yes
4.2 Streetscape and Site Context General	Yes	See discussion
4.3 Landscape Planning and Design	Yes	See discussion
4.4.2 Solar Access General Controls	Yes	See discussion
4.5.2 Social Equity - Equitable Access	Yes	Yes
4.6 Parking Rates – Child Care Centres	Yes	See discussion
4.7 Site Facilities	Yes	Yes
5.1 Storey Height and Setbacks Dwelling house and Attached Dwellings	Yes	See discussion
6.1 Child Care Centres	Yes	See discussion

Part 4.1.4 Soil Management

A Soil & Water Management Plan has been submitted and general erosion and sediment control strategies are proposed to ensure that the potential for impact on adjoining land and surrounding waterways is minimised. Temporary fencing is to be erected along the boundaries of the site. A builders all weather access is required to be provided onto the site.

Part 4.1.6 Development on Sloping Sites

The subject site slopes to the rear. The proposed ground floor level and outdoor play area adjoining the western side boundary are subsequently raised up to 2m above existing ground level within the rear portion of the site. Given the need for accessibility within the site, the level floor plate is reasonable. The floor level is below existing ground at the front of the site and to lower it further would compromise accessibility to the childcare centre. As such a variation to the requirement for sloping sites is reasonable in this case.

It is noted that the rear of the first floor is largely occupied by outdoor play area and as such the built form steps down the slope of the site notwithstanding the ground floor does not.

Part 4.2 Streetscape and Site Context Fencing

The design of the development and fencing is generally satisfactory as previously discussed.

Part 4.3 Landscape Planning and Design

The landscape design is generally acceptable subject to relocation of the pram parking area and landscaping to the eastern boundary as has been previously discussed. This has been addressed by the recommended conditions of consent.

Part 4.4.2 Solar Access General Controls

The dwelling at No. 49 Bestic Street to the east retains a similar level of solar access to its western side living room window as existing and will retain appropriate solar access to its rear yard between 9am and 3pm at midwinter.

An appropriate level of solar access will be retained to the north facing windows of No. 34 Cameron Street and the rear yard will not be impacted between 9am and 3pm at midwinter.

Part 4.6 Parking Rates Child Care Centres

The proposed development seeks to accommodate a total of 50 children and a maximum of 10 staff on site. Given the above, a minimum of 5 staff and 3 pick up/drop off parking spaces are required on site. Plans illustrate the provision of 9 on site car spaces within the proposed basement level, 1 in excess of the minimum control. Of these, 5 are to be provided for staff with 4 for visitor/pick up and drop off, 1 of which is accessible parking, complying with the provisions and objectives of this clause.

Part 5.1 Storey Height and Setbacks Dwelling House and Attached Dwellings

The controls require the front setback to be consistent with adjoining properties and the proposed front setback is similar to the setback of the dwelling at No.49 Bestic Street and the same as the existing setback of the dwellings on the subject site, making it acceptable in the streetscape context.

A minimum secondary street setback of 1.5m and a side setback of 1.5m is required for a dwelling house and the proposal matches the required side setbacks, other than a small variation at ground level to the side setback (1m), which is acceptable.

A minimum rear setback of 6m is required for a two storey dwelling and the proposal has a minimum rear setback of 7.6m, being compliant.

Part 6.1 Child Care Centres

The controls are intended to largely be overridden by SEPP (Education), which is both certain and imminent. As such no significant weight will be given in the assessment of the application to Controls 1, 2, 4, 6, 21, 25, 26, 27, 28 and 38 related to the ratio of ages within a childcare centre, proximity to other childcare centres, plan of management, design (other than setbacks) and hours of operation. The remaining provisions are addressed following:

Provision of Child Care Places: A maximum number of 50 children are permitted in residential areas and the proposal complies, proposing 50 children.

Location: A guideline is provided for the location of childcare centres with centres preferably located close to commercial/employment centres, public transport, in residential areas adjacent to commercial/mixed use areas, close to schools/libraries/churches/community facilities, adjacent to public open space, on large corner sites or ones which adjoin not more than 2 residential properties and are to be within purpose built centres.

The centre is appropriately located in proximity to public transport, near employment opportunities and a school and adjacent to an area of open space. The site is located on a corner and does not have more than 2 residential neighbours.

A guideline is provided for where childcare centres should not be located including close to other childcare centres, where there is unsatisfactory on street parking/traffic conditions or restrictions, on narrow, one way, dead end roads or cul-de-sacs unless it has a double frontage with drive-thru capability, on Classified Roads, on steep sites, near sensitive land uses, near health hazards, near electromagnetic radiation or in flood zones.

The site satisfies the majority of the locational requirements. Whilst the centre is located in proximity to a substation, Ausgrid has indicated the EMF of the substation is compliant with relevant health standards.

Whilst the centre is located with a frontage to a cul-de-sac, it is also located with a frontage to Bestic Street and whilst not having a drive-thru facility, the location has been assessed as being acceptable by Council's traffic engineer and the local area traffic committee.

The area does not contain unacceptable parking restriction, with on-street parking being generally unrestricted in Cameron Street (other than at the cul-de-sac head). Further, the proposal provides for 1 additional pickup/drop off space in excess of the minimum DCP requirement. The site is not identified as being flood prone and is not located near inappropriate facilities.

Building Design: The controls require the childcare centre to comply with the relevant setbacks and be of suitable character, with children under 2 years of age catered for on the ground level. Above ground childcare centres may be permitted on merit addressing child safety and residential impact. Linkages are required between indoor and outdoor spaces and details of signage must be provided.

The proposal generally complies with the required setbacks and provides for children under 2 years of age on the ground level. The design of the first floor level is considered to be appropriate for child safety and, subject to conditions, the first floor use will not result in unacceptable impacts upon the amenity of the area. Signage details are provided and are considered acceptable.

The design is appropriate to the character of the area, having a height and setbacks similar to those likely for a new two storey dwelling. Whilst the building extends further to the rear than some dwellings, it is compliant with the rear setback control.

Visual and Acoustic Privacy: Acoustic privacy has been addressed by an acoustic report which requires the provision of acoustic screens to the external child play areas and the report is supported by Council's Health Officer.

Visual privacy is addressed by screens to windows and outdoor play areas and subject to the recommended conditions is acceptable.

A Plan of Management is required by the DCP and whilst one has been provided, the SEPP (Education) indicates one will no longer be required. Notwithstanding this, as SEPP (Education) is only applicable as a draft in the assessment of this application, a condition of consent is recommended requiring the Plan of Management to be amended and complied with by the operators of the centre.

Indoor and Outdoor Space: These requirements are superseded by the SEPP (Education).

Parking and Pedestrian Safety: The site is appropriately located for pedestrian safety, with the footpath to Bestic Street of adequate width and the pedestrian and vehicular entrances separated. Council's traffic engineer has raised no concerns with pedestrian safety or parking provision.

Hours of Operation: This section is to be overridden by SEPP (Education), though the proposal is compliant with the provisions.

Any Planning Agreement that has been entered into under section 93F, or any draft planning agreement that the developer has offered to enter into under section 93F (S.79C(1)(a)(iia))

The proposal is not subject to a Voluntary Planning Agreement (VPA).

Provisions of Regulations (S.79C(1)(a)(iv))

Clauses 92-94 of the Regulations outline the matters to be considered in the assessment of a development application. Clause 92 requires the consent authority to consider the provisions of AS 2601:1991 - Demolition of Structures when demolition of a building is involved. In this regard a condition of consent should be placed upon any consent to ensure compliance with the standard.

The Regulations requires notification to relevant authorities that may have an interest in the application. The proposal has been notified to Ausgrid as the adjoining site contains a substation. Ausgrid has raised no objections subject to conditions which have been included in the recommendation.

All relevant provisions of the Regulations have been considered in the assessment of this proposal.

S.79C(1)(b) Likely Impacts of Development

The impacts of the development have been considered throughout the report and are considered acceptable.

Suitability of the Site (S.79C(1)(c))

The relevant matters pertaining to the suitability of the site for the proposed development have been considered in the assessment of the proposal. It is considered that the design of the proposal appropriately responds to the context of the site in terms of streetscape presentation and impacts upon adjoining properties. It is considered that the application is an appropriate form of development for the site.

Public Submissions (S.79C(1)(d))

The development has been notified in accordance with the provisions of Rockdale DCP 2011 between 9 March and 29 March 2017, with 12 individual letters and 1 petition (59 signatures from 38 properties) being received in response to the initial notification. Amended plans were notified between 10 January and 25 January 2018 and 9 individual letter submissions (2 from one submitter) and 1 petition (74 signatures from 47 properties) were received in response to the second notification.

A meeting was held with objectors on 15 February 2018 to give residents an opportunity to express their concerns. The issues raised in the submissions and at the meeting are discussed below:

Issue 1: Increase in traffic

Comment: Council's Traffic Engineer and the Local Traffic Committee have raised no concern with the impact of the additional traffic upon the capacity or safety of the street network. The total traffic post development will be well under the environmental capacity of the local road network and will not detrimentally impact the level of service at any intersection.

Issue 2: Pedestrian safety impacts due to driveway/location on steep hill

Comment: The driveway provides adequate sight distance to ensure cars entering and exiting can see approaching pedestrians. A condition to this effect is recommended to ensure this occurs. As cars will be entering and exiting the site in a forward direction it is not considered that safety to pedestrians will be detrimentally impacted by the proposal. It is also noted that the basement will have an operable "parking full" sign which will remove the potential of cars entering the site when the basement is full. The site is sloping, but not considered to be an overly steep site and the slopes of Bestic Street and Cameron Street do not have the potential to detrimentally impact pedestrian safety.

Issue 3: Inadequate parking

Comment: The parking provision is compliant with the provisions of the DCP and as such additional onsite parking cannot be requested. Notwithstanding this, the proposal provides 1 space in excess of the minimum required by the DCP.

Issue 4: Noise (operational and construction)

Comment: An acoustic report has been prepared for the proposal identifying acoustic measures required to ensure an acceptable acoustic impact and the report is supported by Council's Health Officer.

Issue 5: Noise from aircraft

Comment: The impact of aircraft noise upon the use has been assessed in the acoustic report submitted with the application as acceptable.

Issue 6: Out of Character/bulk and scale/height

Comment: The proposal is compliant with the height and FSR controls applicable to the site. Since this concern was raised the proposal has been redesigned to provide the first floor component closer to Bestic Street and the design is more characteristic of a large dwelling. Whilst not having the same design as dwellings in the area it is considered that the design is compatible with the desired future character of the area, it being noted that two storey dwellings are permitted in the area.

Issue 7: Childcare use not appropriate in residential area

Comment: A childcare use is a permitted use with consent in the residential zoning applicable to the site and as such it is an appropriate use.

Issue 8: Already another childcare centre in Cameron Street

Comment: The state government, with the introduction of SEPP (Education) has made it clear that Councils can no longer refuse childcare centres due to their proximity to existing childcare centres.

Issue 9: Should cater for no more than 50 children

Comment: Since this concern was raised the application has been amended to reduce the number of children to 50.

Issue 10: Front yard should not be used as child play area

Comment: The amended plans show the ground floor outdoor child play areas as fronting Cameron Street and being behind the front building line to Bestic Street. Given the adjoining park in Cameron Street such design is appropriate.

Issue 11: Setbacks don't comply

Comment: This has been addressed in the body of the report. The rear and Cameron Street and Bestic Street frontage setbacks of the amended design are complaint. The setback to the eastern boundary is generally compliant with a minor, and acceptable variation.

Issue 12: Shadow impact upon adjoining dwellings and park

Comment: As has been addressed in the report the shadow impact upon the two adjoining dwellings and their yards is acceptable. The proposal will result in additional shadowing of the adjoining pocket park, however such shadowing is similar to that which would be experienced due to a two storey dwelling and will not significantly reduce the amenity of the park.

Issue 13: Likely to add to the flooding of the area

Comment: Council's stormwater engineer has not identified the site as being flood prone and has not raised any concerns in relation to flooding.

Issue 14: Loss of privacy to adjoining properties

Comment: The amended plan provides privacy screens to the elevated ground floor windows and has no first floor windows overlooking adjoining properties. The provision of 1.6m high acoustic/privacy screens around the eastern and southern side of the first floor outdoor play area will ensure privacy is retained to adjoining properties. The relocation of the entrance from the side passage to Bestic Street will also protect the privacy of the adjoining property.

Issue 15: Disability parking space on street requested by neighbour due to increased parking demand

Comment: Such a request is not relevant to the assessment of the application and must be made by the residents directly to Council's traffic section for consideration at a local traffic committee.

Issue 16: 7pm is too late for operation and the centre should not operate any later than 6pm.

Comment: With the introduction of SEPP (Education) the state government has made it clear that childcare centres cannot be refused for operating between 7am and 7pm. Council's DCP also contains 7am to 7pm as the appropriate operating hours. The proposal complies with the hour's control of both SEPP (Education) and the DCP.

Issue 17: Acoustic report is not credible

Comment: Council's Health Officer has not raised concerns with the credibility of the acoustic report.

Issue 18: 1.5m high acoustic fence is inadequate for sound attenuation

Comment: The sound attenuation fencing has a height commensurate with that recommended in the acoustic report and varies dependent upon the height of the children using the spaces.

Issue 18: Acoustic measures won't reduce the noise from children coming and going

Comment: The majority of children will arrive by car using the centre's basement car park and thence the lift to access the centre, thereby containing the noise within the premises. This is an improvement over the typical centre which has at grade parking. Noise from traffic will not result in unacceptable impacts given the traffic within Cameron Street still falls within the environmental capacity of a local road.

Issue 19: Impact on property prices

Comment: The impact of the proposal on surrounding properties prices is not a matter that can be taken into consideration under the legislation.

Issue 20: No justification has been provided that the centre is needed

Comment: With the introduction of SEPP (Education) the state government has made it clear that Council cannot refuse applications on the basis of demand or require an applicant to establish there is a demand for such a service.

Issue 21: Impact of entrance location upon No. 49 Bestic Street

Comment: This concern has been addressed in the amended plans as the entrance has been relocated from the side passage to the front of the site.

Issue 22: Adequacy of landscaping

Comment: This concern has been addressed in the amended plans with an increased width landscape strip along the Cameron Street frontage and by conditions of consent requiring more landscaping adjacent to the eastern boundary.

Issue 23: Stacked parking for staff not practical

Comment: The parking arrangement is appropriate and no objection has been raised by Council's Engineer.

Issue 24: Parking doesn't provide for a cook

Comment: With the reduction in staff numbers due to the reduction in number of children to attend, adequate parking is provided, being 1 space in excess of the minimum required by the DCP.

Issue 25: Noise impact to Cameron Street residents due to use of driveway and roller shutter.

Comment: Such impact would only occur to the immediately adjoining property (No. 34 Cameron Street) and can be satisfactorily ameliorated by the provision of an acoustic fence along the southern boundary to a height of 1.8m above existing ground level in conjunction with a requirement for the roller shutter to be acoustically attenuated against banging when closing. A condition to this effect is recommended.

Issue 26: Will result in people making U-turns in Cameron Street compromising safety.

Comment: The end of Cameron Street is a cul-de-sac head and is designed to allow vehicles to turn. Such manoeuvres will not compromise safety.

Issue 27: The design gives children direct access to a lift which is unsafe.

Comment: The amended plans have addressed this concern.

Issue 28: The design provides inadequate storage areas.

Comment: The amended plans have addressed this concern.

Issue 29: The numbers proposed are inappropriate for progression of ages through the centre.

Comment: The amended design provides for 18 x 0-2 year olds and 32 x 2-5 year olds, providing more than adequate numbers for progression.

Issue 30: The design places the cot room adjoining the noisy play area and has inadequate surveillance.

Comment: Appropriate surveillance is possible by use of windows and appropriate sound attenuation can be built into the structure.

Issue 31: The location of the childcare centre will make it impossible for Council to sell the park.

Comment: There is no indication the Council intends to sell the park.

Issue 32: Will result in people parking across driveways and on nature strips in Bestic Street.

Comment: An application cannot be refused on the basis that people attending the centre will break the law when parking.

Issue 33: Plan of Management conflicts with acoustic report in relation to number of hours of outdoor play.

Comment: SEPP (Education) no longer requires a Plan of Management to be provided with childcare centres. Notwithstanding this, the amended Plan of Management indicates the outdoor play areas will be used for 2 hours a day which is consistent with the acoustic report.

Issue 34: Location of pram parking area is too close to No. 47 Bestic Street and should be relocated further away.

Comment: The preferred location for the pram parking area has been discussed in this report and a condition of consent is recommended requiring its relocation.

Issue 35: Inadequate detail is provided on the stormwater plan and for the detention system.

Comment: Council's engineer has indicated the proposal is satisfactory subject to recommended conditions.

Issue 36: Construction impacts.

Comment: Impacts during construction are to some extent inevitable but can be reasonably ameliorated by conditions for hours of construction, dust suppression and the like which are recommended. A condition is also recommended requiring a dilapidation report in relation to the adjoining properties.

Issue 37: Proposed ramp is only one way in and out.

Comment: Amended plans now provide for a two way ramp in to the basement and Council's engineer has indicated the proposal is satisfactory.

Issue 38: Privacy impact from window to fire stair.

Comment: Amended plans now provide for glass blocks to this window ensuring privacy.

Issue 39: Privacy impact due to height of boundary fence with 34 Cameron Street.

Comment: A condition of consent is recommended requiring a 1.8m high fence (measured from existing ground level) at the boundary with 34 Cameron Street. The fence is to be an acoustic fence which will reduce acoustic impacts to an acceptable level.

Public Interest (S.79C(1)(e))

The proposal has been assessed against the relevant planning policies applying to the site having regard to the objectives of the controls. As demonstrated in the assessment of the development application, the proposal is considered to appropriately respond to the context of the site and provides for an appropriate level of amenity for adjoining residents and onsite users. As such it is considered that approval of the development application is not contrary to the public interest.

S94A Contribution towards provision or improvement of amenities or services

The proposal is not subject to Council's Development Contributions Plan 2004.

CONCLUSION

The proposed development has been considered under S79C(1) of the Environmental Planning and Assessment Act, 1979. The application involves demolition of existing structures and construction of a two storey child care centre accommodating 50 children, 10 staff, operating 7am 7pm Monday to Friday with basement car parking accessed from Cameron Street. The proposal is generally consistent with the objectives and controls under relevant SEPPs, RLEP 2011 and DCP 2011. As such the application is recommended for Approval.

Schedule 1 - Draft Conditions of consent

General Conditions

The following conditions restrict the work to the detail provided in the Development Application and are to ensure that the development is complete.

1. The term of this consent is limited to a period of five (5) years from the date of the original approval. The consent will lapse if the development does not commence within this time.
2. The development must be implemented substantially in accordance with the plans listed below, the application form and on any supporting information received with the application, except as may be amended in red on the attached plans and by the following conditions.

Plan/Dwg No.	Issue	Drawn by	Dated
Site Analysis Plan & FSR calculations 16111 DA 00	G	Laurie Liskowski Architects	12/03/2018
First Floor and Ground Floor Plan 16111 DA 01	G	Laurie Liskowski Architects	12/03/2018
Basement and Roof Plan 16111_DA_02	G	Laurie Liskowski Architects	12/03/2018
Elevations 1611_DA_00_03	G	Laurie Liskowski Architects	12/03/2018
Sections 1611_DA_04	G	Laurie Liskowski Architects	12/03/2018
External Finishes & Streetscape Analysis 16111 DA 06	G	Laurie Liskowski Architects	12/03/2018
Landscape Concept Plan LA- 1711 DA_01	C	Greenscape Design and Associates	01/08/2017
Planting Palette Job No. 1711	A	Greenscape Design and Associates	02/03/2016
Typical Detilas LA-1711 DA_03	A	Greenscape Design and Associates	02/03/2016

3. All new building work must be carried out in accordance with the provisions of the Building Code of Australia (BCA).
4. **A Construction Certificate must be obtained from Council or an Accredited**

Certifier prior to any building work commencing.

5. The outdoor areas shall not be enclosed at any future time without prior development consent.
6. Excavation, filling of the site (with the exception of the area immediately under the building envelope), or construction of retaining walls are not permitted unless shown on the approved plans and authorised by a subsequent construction certificate.
7. The site shall be known as 47 Bestic Street Rockdale. Mail boxes must be installed along the street frontage of the property boundary in accordance with Australia Post Guidelines. Prominent house numbers are to be displayed, with a minimum number size of 150 mm in height for each number and letter in the alphabet.
8. The timber slats on the fencing to Bestic Street and Cameron Street shall be a minimum of 50% open and have a maximum height of 1.2m. Details shall be shown in the Construction Certificate documentation.
9. Amended architectural and landscape plans shall be prepared and submitted to Bayside Council for approval by Council's Manager Development Services with the Construction Certificate application showing the following changes:
 - (a) Provision of an acoustic fence to a height of 1.8m (above existing ground level) along the southern and eastern boundaries of the site. The fence is to be reduced in height to 1.2m forward of the building line of 49 Bestic Street and 38 Cameron Street.
 - (b) Despite (a) above, any fencing is to be reduced in height in proximity to the driveway entrance to ensure adequate sight lines are provided from vehicles exiting the site to pedestrians using the footpath in Cameron Street in accordance with the relevant Australian Standard.
 - (c) A 1m wide landscaped side setback shall be provided immediately adjoining the eastern boundary opposite the building, to be landscaped with a hedge to reach a maturity height of at least 3m.
 - (d) The southern boundary landscape area shall be planted with a hedge (immediately adjacent to the boundary) to reach a maturity height of 2m. A small tree shall be planted in the south-eastern corner of the site.
 - (e) The pram parking area shall be relocated to be adjacent to and parallel with the outdoor play area, adjacent to the entry path. The landscape plan shall show landscaping in front of the pram parking area which will obscure it from view from both streets.
 - (f) Two medium sized (8-10m maturity height) endemic trees suitable for use in a child care centre shall be provided in the front yard.
10. The 1.6m high acoustic screen along the eastern and southern sides of the first floor outdoor play areas shall be constructed so as to also provide visual privacy protection to the dwelling and yard of 49 Bestic Street and 34 Cameron Street. Details shall be included in the Construction Certificate documentation.

Development specific conditions

The following conditions are specific to the Development Application proposal.

11. The hours of operation of the approved use shall be restricted to between 7am and 7pm Mondays to Fridays. Operation or use of the facility beyond these hours is not permitted.
12. Parking spaces shall not be enclosed without further approval of Council. The enclosure of car spaces is not permitted unless the enclosure complies with the design requirements of AS2890.1.
13. The existing and future owners (Registered Proprietor) of the property will be responsible for the operation and maintenance of the detention system. The registered proprietor will:
 - (i) permit stormwater to be temporarily detained by the system;
 - (ii) keep the system clean and free of silt, rubbish and debris;
 - (iii) maintain, renew and repair the whole or parts of the system so that it functions in a safe and efficient manner, and in doing so complete the same within the time and in the manner specified in written notice issued by the Council;
 - (iv) carry out the matters referred to in paragraphs (ii) and (iii) at the proprietor's expense;
 - (v) not make any alterations to the system or elements thereof without prior consent in writing of the Council;
 - (vi) permit the Council or its authorised agents from time to time upon giving reasonable notice (but at any time and without notice in the case of emergency) to enter and inspect the land for compliance with the requirements of this clause;
 - (vii) comply with the terms of any written notice issued by the Council in respect to the requirements of this clause within the time stated in the notice.
14. The existing and future owners (Registered Proprietor) of the property will be responsible for the efficient operation and maintenance of the pump system.

The Registered Proprietor will:

- (i) permit stormwater to be temporarily detained and pumped by the system;
- (ii) keep the system clean and free of silt, rubbish and debris;
- (iii) maintain, renew and repair the whole or parts of the system so that it functions in a safe and efficient manner; and in doing so complete the same within the time and in the manner specified in written notice issued by the Council;
- (iv) carry out the matters referred to in paragraphs (ii) and (iii) at the proprietor's expense;
- (v) not make alterations to the system or elements thereof without prior consent in writing of the Council.
- (vi) permit the Council or its authorised agents from time to time upon giving reasonable notice (but at any time and without notice in the case of emergency) to enter and inspect the land for compliance with the requirement of this clause;
- (vii) comply with the terms of any written notice issued by the Council in respect to the requirements of this clause within the time stated in the notice.

15. Noise impacts

The following conditions are necessary to ensure noise impacts are mitigated and the proposal complies with relevant legislation:

- Details of the location of mechanical plants together with certification by an acoustic engineer that the plant is located and screened to prevent detrimental acoustic impacts upon adjoining properties shall be provided prior to the issue of the Construction Certificate.
 - The roller shutter to the car park entry shall be acoustically treated so as not to “bang” on the driveway when closing. Details of the acoustic treatment shall be included in the Construction Certificate documentation.
 - The use of mechanical plant including air conditioners shall not cause sound pressure levels in excess of the criteria given in the NSW Industrial Noise Policy – 2000.
 - The use of the premises, building services, equipment, machinery and, ancillary fittings shall not give rise to an “offensive noise” as defined under the provisions of the Protection of the Environment Operations Act, 1997.
16. Temporary dewatering of the site to construct the subsurface structure is not permitted.
17. The visible light reflectivity from building materials used on the façade of the building shall not exceed 20% and shall be designed so as not to result in glare that causes any nuisance or interference to any person or place. A statement demonstrating compliance with these requirements shall be submitted to the satisfaction of the Certifying Authority prior to the issue of a Construction Certificate for the relevant stage of works.
18. Bicycle parking facilities shall be designed in accordance with AS2890.3:1993.
19. The off-street parking areas associated with the subject development shall be designed strictly in accordance with AS2890.1 and AS2890.6.
20. Internal height clearance shall be designed throughout the car park and access driveway in accordance with AS2890.1 and AS2890.6.
21. All existing and proposed lights shall comply with the Australian Standard AS4282 - 1997 "Control of the Obtrusive Effects of Outdoor Lighting". In this regard, the lighting of the premises shall be directed so as not to cause nuisance to the owners or occupiers of adjacent/adjoining premises or to motorists on adjoining or nearby roads.
22. Hot and cold water hose cocks shall be installed to the garbage room.
23. The proposed signs must not have / use:
- flashing lights
 - electronically changeable messages
 - animated display, moving parts or simulated movement
 - a method and level of illumination that distracts or dazzles
24. Retaining walls over 600mm in height shall be designed and specified by a suitably qualified structural engineer.
25. The proposed hot water system shall be designed, installed and commissioned in accordance with the provisions of the Public Health Act 2010 and Public Health Regulation 2012 and the current code of practice published by the NSW Health department.
26. Should a thermostatic mixing valve be installed in the premises, the following requirements shall be met:

i) The thermostatic mixing valves shall be set at a predetermined temperature of no lower than 37 °C and no higher than 43 °C. The “fail safe” mixing valves shall be installed.

ii) A copy of the commissioning report for the thermostatic mixing valve shall be submitted to Council with an additional copy kept on the premises. The thermostatic mixing valves are to be serviced annually by a suitably qualified and registered plumber who has completed a TAFE course in mixing valves.

iii) The thermostatic mixing valve shall be registered with Council as a warm water system in accordance with the provisions of the Public Health Act 2010 and Public Health Regulation 2012.

27. The proposed development shall be designed, constructed and operated in compliance with the requirements of the Food Act 2003, Food Regulations 2004 and the Australian Standard AS 4674 – 2004 “Design, Construction and Fit out of Food Premises”.

28. Safer by Design

To maximise security in and around the development the following shall be incorporated into the development. Details for the following are to be approved by the Principal Certifying Authority prior to the issue of the Construction Certificate, implemented prior to issue of the Occupation Certificate, and maintained for the lifetime of the development:

- Monitored CCTV facilities may be implemented.
- A lighting maintenance policy shall be established for the development. Lighting shall be designed to the Australian and New Zealand Lighting Standards. Australia and New Zealand Lighting Standard 1158.1 - Pedestrian, requires lighting engineers and designers to consider crime risk and fear when selecting lamps and lighting levels.
- Graffiti resistant materials shall be used to ground level external surfaces.

29. Acoustic Report

The childcare centre is to be constructed and operated in accordance with the recommendations of the approved acoustic report (dated January 2018, prepared by Acoustic Logic). Details of the acoustic attenuation requirements identified in the acoustic report and as required by conditions of this consent are to be incorporated into the plans prior to release of the Construction Certificate.

30. The maximum number of staff shall be limited to 10 at any one time.

31. Plan of Management (PoM)

a) The child care centre shall at all times be operated in accordance with the approved Plan of Management (PoM) which forms part of this consent.

b) A copy of the PoM shall be made freely available to visitors who frequent the facility, as well as to neighbouring property owners and local residents, if requested.

The PoM shall be reviewed annually by the operator of the child care centre. If the Plan of Management is updated following the annual review, the operator is required to ensure:

i) That the amended PoM is consistent with all conditions of this consent;

ii) A copy of the amended Plan of Management is provided to Council within 7 days of its completion;

iii) The PoM is updated, if required, to include comments and direction provided by Council.

32. The childcare centre shall cater for a maximum of 50 children (18 x 0-2 years / 15 x 2-3 years / 17 x 3-5 years).

Prior to issue of the construction certificate

The following conditions must be completed prior to the issue of the Construction Certificate.

33. The following fees shall be paid to Council prior to the issue of a Construction Certificate. If payment is made after the end of the financial year, the amount shall be adjusted in accordance with Council's adopted fees and charges.
- i. A Footpath Reserve Restoration Deposit of \$25,020.00. This is to cover repair of any damages, or other works to be done by Council. This includes construction, removal, or repair as required to: kerb and guttering, existing or new driveways; paved areas and concrete footpaths. The deposit may be lodged with Council in the form of a Bank Guarantee (Any proposed Bank Guarantee must not have an expiry date). The deposit will not be returned by Council until works are completed and all damage is restored and all specified works are completed by Council.
 - ii. An environmental enforcement fee of 0.25% of the cost of the works.
 - iii. A Soil and Water Management Sign of \$18.00.
34. For work costing \$25,000 or more, a Long Service Leave Levy shall be paid. For further information please contact the Long Service Payments Corporation on their Helpline 13 1441.
35. An application for Driveway Works (Public Domain Construction – Vehicle Entrance/Driveway Application) / Frontage Works (Public Domain Frontage Works Construction Application) shall be made to Council's Customer Service Centre prior to issue of the Construction Certificate. All boundary frontage works, egress paths, driveways and fences shall comply with the approval. A fee is payable to Council. If payment is made after the end of the financial year, the amount shall be adjusted in accordance with Council's adopted fees and charges.
36. A Construction Management Plan (CMP) shall be prepared in accordance with the requirements of all relevant regulatory approval bodies. Prior to the commencement of works the Certifying Authority shall be satisfied that the construction Management Plan has obtained all relevant regulatory approvals. The Construction Management Plan shall be implemented during demolition, excavation and construction. Copy of the CMP shall be submitted to Council.
37. The applicant shall confer with Ausgrid to determine if an electricity distribution substation is required. Written confirmation of Ausgrid's requirements shall be obtained prior to issue Construction Certificate.
38. Prior to the issue of the Construction Certificate, the approved plans must be submitted to Sydney Water Tap in™ online service to determine whether the development will affect any Sydney Water sewer or water main, stormwater drains and/or easement, and if further requirements need to be met.

Sydney Water's Tap in™ online service is available at:

<https://www.sydneywater.com.au/SW/plumbing-building-developing/building/sydney-water-tap-in/index.htm>

39. Prior to issue of the Construction Certificate, a longitudinal driveway profile shall be

submitted to Principal Certifying Authority for assessment and approval. The profile shall start in the centre of the road and be along the critical edge (worst case) of the driveway. Gradients and transitions shall be in accordance with Council's Code. The profile shall be drawn to a scale of 1 to 25 and shall include all relevant levels, grades (%) and lengths.

40. Prior to the issue of the relevant Construction Certificate, a Workzone Traffic Management Plan (WZTMP) prepared by a suitably qualified person shall be submitted to and approved by the Certifying Authority. The Plan shall address, but not be limited to, the following matters:

- (a) ingress and egress of vehicles to the site;
- (b) loading and unloading, including construction zones;
- (c) predicted traffic volumes, types and routes; and
- (d) pedestrian and traffic management methods.
- (e) Approval for heavy vehicle route permit.

Copy of the WZTMP shall be submitted to Council.

41. There are built structures, (including public assets) which may be in the zone of influence of the proposed works and excavations on this site. Detailed geotechnical report shall be prepared by a qualified geotechnical engineer and must include an investigation to determine the design parameters appropriate to the specific development and site. This would typically include but not limited to:

- Location & level of nearby foundations/footings (site and neighbouring)
- Proposed method of excavation
- Permanent and temporary support measures for excavation
- Potential settlements affecting footings/foundations
- Groundwater levels and seepage control
- Batter slopes
- Potential vibration caused by method of excavation
- Tanking and waterproofing the basement structures
- Dewatering including seepage and off site disposal rate (if any)
- Develop an appropriate inspection and testing plan should be carried out in consultation with the Geotechnical Engineer.
- Geotechnical engineer also shall provide a certificate that the construction certificate plans are satisfactory from a geotechnical perspective
- prepare a detailed construction methodology report demonstrating that the proposed construction methods (including any excavation, and the configuration of the built structures) will have no adverse impact on any surrounding property and infrastructure.

The report and certificate must be submitted with the application for a Construction Certificate for the relevant stage of works. Geotechnical engineer shall inspect the works as they progress. The Inspections are to occur at frequencies determined by the geotechnical engineer.

Where a Private Certifier issues the Construction Certificate a copy of the above documentation must be provided to Council, once the Construction Certificate is issued for the relevant stage of works.

42. Prior to the issue of the construction certificate applicant to seek approval from Bayside Traffic Committee for pedestrian refuge island in Bestic Street to help pedestrians and children to cross Bestic Street safely. Design of the pedestrian refuge shall be in accordance with with RMS standard technical direction. All the cost for design and construction shall be paid by the applicant.
43. A Construction Traffic Management Plan detailing construction vehicle routes, number of trucks, hours of operation, access arrangements and traffic control should be submitted to Council for approval prior to the issue of a Construction Certificate.
44. The mechanical exhaust ventilation system shall be installed in the kitchen and food preparation areas where cooking and heat producing processes are conducted. All equipment producing heat or steam shall be placed wholly under the ventilation canopy. The ventilation system shall be designed and installed by an appropriate qualified person in accordance with Australian Standards AS1668.1-1998 & 1668.2-2002.
45. All walls within the kitchen, food preparation, storage and display areas shall be of solid construction. Walls in food preparation areas shall be finished with one or a combination of glazed tiles, stainless steel, aluminium sheeting, laminated thermosetting plastic sheeting, polyvinyl sheeting with welded seams or similar impervious material which is adhered directly to the wall. The finishing materials of the wall surfaces shall provide a smooth even surface free from buckles, ledges, fixing screws, picture rails, open joint spaces, cracks or crevices.
46. The floors within the kitchen, food preparation and storage shall be constructed of a suitable material which is non-slip, durable, resistant to corrosion, non-toxic, non-absorbent and impervious to moisture. Floors which drain to a floor waste shall be evenly graded (at least 1:100) so that water falls to the floor waste.
47. The surface finish of the ceiling shall not be perforated and shall be finished in an impervious material which is free from open joints, cracks, crevices, (in accordance with AS 4674-2004, acoustic and decorative panels are not to be used in wet areas, food preparation areas, bin storage areas or other areas where open food is displayed or served). The ceiling over the food preparation, storage and display areas shall be painted with a washable paint of a light colour. The intersection of walls and the ceiling shall be tight jointed, sealed and dust-proof.
48. A double bowl sink or two compartment tub which is of a size capable of fully immersing the largest piece of equipment shall be provided with hot and cold water supplied through a single spout in the kitchen/food preparation area. Double bowl sink or tubs shall be supplied with water of at least 45 o C in one bowl for washing purposes; and 80 o C in the other bowl for sanitising purposes if hot water sanitising occurs at the sink.
49. Premises shall be provided with a cleaner's or sluice sink, floor waste or other similar facility which is connected to drainage that is not intended for use to prepare food, wash any equipment or for hands/face washing for disposing of mop water and similar liquid waste and shall be located outside of areas where open food is handled.
50. Hand wash basins shall be located so that they are not obstructed, are at bench height either permanently fixed to a wall, supporting frame or sunk into the bench top, accessible and no further than 5 metres (excluding toilet hand basins) from any place where food handlers are handling open food, in the parts of the premises where open

food is handled, in utensil/equipment washing areas, in staff entrance to areas where open food is handled and in toilet cubicles or immediately adjacent to toilets. Hand basins shall have a permanent supply of warm running potable water delivered through a single outlet and taps which operate hands free shall be provided at all hand basins with sufficient space between the spout and base of basin for the washing of hands and arms.

51. Rooms and areas designated for the storage and washing of garbage receptacles shall be designed and constructed in accordance with the following requirements;

i) The floors and walls shall be constructed of a suitable material which is durable, smooth, resistant to corrosion, impervious to moisture and coved with a minimum radius of 25mm at the intersection of walls with floors

ii) The floor shall be graded and drained to a floor waste gully connected to the sewerage system and traps of the premises in accordance with all Sydney Water requirements

iii) Provide a hose tap connected to the water supply. Water used for cleaning garbage receptacles may be either potable or non potable water.

iv) The room shall be ventilated with either natural ventilation or alternatively mechanically ventilated in accordance with the requirements of Australian Standards AS 1668.

52. The low level driveway must be designed to prevent inflow of water from the road reserve, and emergency overflow from the detention system. The assessment of flows and design of prevention measures shall be in accordance with the requirements of Rockdale Technical Specification Stormwater Management. Details shall be included in the documentation presented with the Construction Certificate application. Basement crest to be provided to protect basement from flooding from surface flows and emergency overflows from the onsite detention system. Basement driveway shall have at least 100mm freeboard from the surface flow in the street gutter Overflow from the detention system. Driveway profile shall be amended accordingly.

53. Any part of the proposed building within 3m of the proposed detention tank shall be constructed on a pier and beam foundation with piers extending no less than 300mm below the bottom of the tank. This requirement shall be reflected on the Construction Certificate plans and supporting documentation.

54. All surface runoff shall be directed through a propriety oil and sediment filtration system prior to discharge. Details of the pit type, location, performance and manufacturer's maintenance and cleaning requirements shall be submitted and approved prior to the issue of the construction certificate.

The owners/occupiers are to undertake all future maintenance and cleaning to the manufacturer's requirements.

55. Prior to the issue of the Construction Certificate, amended detailed drainage design plans for the management of stormwater are to be submitted to Principal Certifying Authority for assessment and approval.

Stormwater plan shall be amended as per following requirement:

(i) Basement driveway shall have a crest as per the section 8 of Rockdale Technical Specification - Stormwater Management.

(ii) Overflow from the detention system to the street kerb shall be a gravity system.

(iii) Orifice control for 2 and 50 years ARI event within the detention system shall be design as per Rockdale Technical Specification - Stormwater Management.

(iv) Stormwater plan to be revised as per the approved architectural plans.

Design certification, in the form specified in Rockdale Technical Specification Stormwater Management, and drainage design calculations are to be submitted with the plans. Council's Rockdale Technical Specification Stormwater Management sets out the minimum documentation requirements for detailed design plans. Stormwater management requirements for the development site, including the final discharge/end connection point, must comply with Rockdale Technical Specification Stormwater Management.

Prior to commencement of works

The following conditions must be completed prior to the commencement of works.

56. A dilapidation survey shall be undertaken of all properties and/or Council infrastructure, including but not limited to all footpaths, kerb and gutter, stormwater inlet pits, and road carriageway pavements, in the vicinity which could be potentially affected by the construction of this development. Any damage caused to other properties during construction shall be rectified. A copy of the dilapidation survey and an insurance policy that covers the cost of any rectification works shall be submitted to the Accredited Certifier (AC) or Council prior to Commencement of Works. The insurance cover shall be a minimum of \$10 million.
57. A Soil and Water Management Plan shall be prepared. The Plan must include details of the proposed erosion and sediment controls to be installed on the building site. A copy of the Soil and Water Management Plan must be kept on-site at all times and made available on request.

Soil and sedimentation controls are to be put in place prior to commencement of any work on site. The controls are to be maintained in effective working order during construction.

Council's warning sign for soil and water management must be displayed on the most prominent point on the building site, visible to both the street and site workers. The sign shall be erected prior to commencement of works and shall be displayed throughout construction.

58. A sign must be erected at the front boundary of the property clearly indicating the Development Approval Number, description of work, builder's name, licence number and house number before commencement of work. If owner/builder, the Owner/Builder Permit Number must be displayed.
59. A sign must be erected in a prominent position on any work site on which work involved in the erection or demolition of a building is being carried out:
 - i. stating that unauthorised entry to the work site is prohibited, and
 - ii. showing the name of the person in charge of the work site and a telephone number at which that person may be contacted outside working hours. Any such sign is to be removed when the work has been completed. This condition does not apply to:
 - iii. building work carried out inside an existing building or
 - iv. building work carried out on premises that are to be occupied continuously (both during and outside working hours) while the work is being carried out.
60. Where it is necessary to import landfill material onto the site to fill the land to levels shown on the plans forming part of the consent, a certificate, prepared by a suitably qualified and experienced Contaminated Land Consultant, shall be submitted to

Council being the Regulatory Authority prior to the commencement of works, certifying that the imported fill is suitable for the land use.

61. The site shall be secured by a 1800 mm (minimum) high temporary fence for the duration of the work. Gates shall be provided at the opening points.
62. (a) A hoarding or fence shall be erected between the work site and the public place when the work involved in the erection or demolition of a building:
 - (i) is likely to cause pedestrian or vehicular traffic in a public place to be obstructed or rendered inconvenient, or
 - (ii) building involves the enclosure of a public place,
 - (b) Where the development site adjoins a public thoroughfare, the common boundary between them must be fenced for its full length with a hoarding, unless, the least horizontal distance between the common boundary and the nearest part of the structure is greater than twice the height of the structure. The hoarding must be constructed of solid materials (chain wire or the like is not acceptable) to a height of not less than 1.8m adjacent to the thoroughfare.
 - (c) Where a development site adjoins a public thoroughfare with a footpath alongside the common boundary then, in addition to the hoarding required above, the footpath must be covered by an overhead protective structure, type B Hoarding, and the facing facade protected by heavy duty scaffolding unless either:
 - (i) the vertical height above footpath level of the structure being demolished is less than 4m; or
 - (ii) the least horizontal distance between footpath and the nearest part of the structure is greater than half the height of the structure.

The overhead structure must consist of a horizontal platform of solid construction and vertical supports, and the platform must -

 - (i) extend from the common boundary to 200mm from the edge of the carriageway for the full length of the boundary;
 - (ii) have a clear height above the footpath of not less than 2.1m;
 - (iii) terminate not less than 200mm from the edge of the carriageway (clearance to be left to prevent impact from passing vehicles) with a continuous solid upstand projecting not less than 0.5m above the platform surface; and
 - (iv) together with its supports, be designed for a uniformly distributed live load of not less than 7 kPa

The 'B' Class hoarding is to be lit by fluorescent lamps with anti-vandalism protection grids. Any such hoarding, fence or awning is to be removed when the work has been completed.

 - (d) The principal contractor or owner builder must pay all fees and rent associated with the application and occupation and use of the road (footway) for required hoarding or overhead protection.
63. Toilet facilities must be available or provided at the work site before works begin and must be maintained until the works are completed at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site.
64. Consultation with Ausgrid is essential prior to commencement of work. Failure to notify Ausgrid may involve unnecessary expense in circumstances such as:
 - i) where the point of connection and the meter board has been located in positions other than those selected by Ausgrid or
 - ii) where the erection of gates or fences has restricted access to metering equipment.

During demolition / excavation / construction

The following conditions must be complied with during demolition, excavation and or construction.

65. A copy of the Construction Certificate and the approved plans and specifications must be kept on the site at all times and be available to Council officers upon requestA
66. Hours of construction shall be confined to between 7 am and 6.30 pm Mondays to Fridays, inclusive, and between 8 am and 3.30 pm Saturdays with no work being carried out on Sundays and all public holidays.
67. Upon inspection of each stage of construction, the Principal Certifying Authority (or other suitably qualified person on behalf of the Principal Certifying Authority) is also required to ensure that adequate provisions are made for the following measures (as applicable), to ensure compliance with the terms of Council's approval:
 - Sediment control measures
 - Provision of perimeter fences or hoardings for public safety and restricted access to building sites.
 - Maintenance of the public place free from unauthorised materials, waste containers or other obstructions.
68. All waste generated on site shall be disposed of in accordance with the submitted Waste Management Plan.
69. A Registered Surveyor's check survey certificate or compliance certificate shall be forwarded to the certifying authority detailing compliance with Council's approval at the following stage/s of construction:
 - i. After excavation work for the footings, but prior to pouring of concrete, showing the area of the land, building and boundary setbacks.
 - ii. Prior to construction of each floor level showing the area of the land, building and boundary setbacks and verifying that the building is being constructed at the approved level.
 - iii. Prior to fixing of roof cladding verifying the eave, gutter setback is not less than that approved and that the building has been constructed at the approved levels.
 - iv. On completion of the building showing the area of the land, the position of the building and boundary setbacks and verifying that the building has been constructed at the approved levels.
 - v. On completion of the drainage works (comprising the drainage pipeline, pits, overland flow paths, on-site detention or retention system, and other relevant works) verifying that the drainage has been constructed to the approved levels, accompanied by a plan showing sizes and reduced levels of the elements that comprise the works.
70. All contractors shall comply with the following during all stages of demolition and construction:
 - A Waste Container on Public Road Reserve Permit must be obtained prior to the placement of any waste container or skip bin in the road reserve (i.e. road or footpath or nature strip). Where a waste container or skip bin is placed in the road reserve without first obtaining a permit, the Council's fees and penalties will be deducted from the Footpath Reserve Restoration Deposit. Permits can be obtained from Council's Customer Service Centre.
 - A Road Opening Permit must be obtained prior to any excavation in the road

reserve (i.e. road or footpath or nature strip). Where excavation is carried out on the road reserve without first obtaining a permit, the Council's fees and penalties will be deducted from the Footpath Reserve Restoration Deposit. Permits can be obtained from Council's Customer Service Centre.

- A Hoarding Permit must be obtained prior to the erection of any hoarding (Class A or Class B) in the road reserve (i.e. road or footpath or nature strip). Where a hoarding is erected in the road reserve without first obtaining a permit, the Council's fees and penalties will be deducted from the Footpath Reserve Restoration Deposit. Permits can be obtained from Council's Customer Service Centre.
- A Crane Permit must be obtained from Council prior to the operation of any activity involving the swinging or hoisting of goods across or over any part of a public road by means of a lift, hoist or tackle projecting over the footway. Permits can be obtained from Council's Customer Service Centre.
- A current Permit to Dewater or Pump Out a site must be obtained prior to the discharge of pumped water into the road reserve, which includes Council stormwater pits and the kerb and gutter. Permits can be obtained from Council's Customer Service Centre.

71. All demolition work shall be carried out in accordance with AS2601 – 2001: The Demolition of Structures and with the requirements of the WorkCover Authority of NSW.

72. The following conditions are necessary to ensure minimal impacts during construction:

- i. Building, demolition and construction works not to cause stormwater pollution and being carried out in accordance with Section 2.8 of Council's Stormwater Pollution Control Code 1993. Pollutants such as concrete slurry, clay and soil shall not be washed from vehicles onto roadways, footways or into the stormwater system. Drains, gutters, roadways and access ways shall be maintained free of sediment. Where required, gutters and roadways shall be swept regularly to maintain them free from sediment.
- ii. Stormwater from roof areas shall be linked via a temporary downpipe to an approved stormwater disposal system immediately after completion of the roof area.
- iii. All disturbed areas shall be stabilised against erosion within 14 days of completion, and prior to removal of sediment controls.
- iv. Building and demolition operations such as brickcutting, washing tools or paint brushes, and mixing mortar shall not be performed on the roadway or public footway or any other locations which could lead to the discharge of materials into the stormwater drainage system.
- v. Stockpiles are not permitted to be stored on Council property (including nature strip) unless prior approval has been granted. In addition stockpiles of topsoil, sand, aggregate, soil or other material shall be stored clear of any drainage line or easement, natural watercourse, kerb or road surface.
- vi. Wind blown dust from stockpile and construction activities shall be minimised by one or more of the following methods:
 - a) spraying water in dry windy weather
 - b) cover stockpiles
 - c) fabric fences

- vii. Access to the site shall be restricted to no more than two 3m driveways. Council's footpath shall be protected at all times. Within the site, provision of a minimum of 100mm coarse crushed rock is to be provided for a minimum length of 2 metres to remove mud from the tyres of construction vehicles.

An all weather drive system or a vehicle wheel wash, cattle grid, wheel shaker or other appropriate device, shall be installed prior to commencement of any site works or activities, to prevent mud and dirt leaving the site and being deposited on the street. Vehicular access is to be controlled so as to prevent tracking of sediment onto adjoining roadways, particularly during wet weather or when the site is muddy. Where any sediment is deposited on roadways it is to be removed by means other than washing and disposed of appropriately.

In addition builders / demolishers are required to erect a 1.8m high fence along the whole of the street alignment other than at the two openings. Such protection work, including fences, is to be constructed, positioned and maintained in a safe condition to the satisfaction of the Principal Certifying Authority, prior to the demolition of the existing structures and commencement of building operations.

- viii. Any noise generated during construction of the development shall not exceed limits specified in any relevant noise management policy prepared pursuant to the Protection of the Environment Operations Act, 1997 or exceed approved noise limits for the site.

- 73. Council's warning sign for soil and water management must be displayed on the most prominent point on the building site, visible to both the street and site workers. The sign must be displayed throughout construction. A copy of the sign is available from Council.

Prior to issue of occupation certificate or commencement of use

The following conditions must be complied with prior to issue of the Occupation Certificate or Commencement of Use.

- 74. An Occupation Certificate shall be obtained in relation to the approved works prior to any use or occupation of the building.
- 75. Where Council's park/reserve is damaged as a result of building work or vehicular building traffic, this area shall be restored by Council at the applicant's expense. Repairs shall be completed prior to the issue of the Occupation Certificate.
- 76. All landscape works are to be carried out in accordance with the approved landscape plans prior to the issue of an Occupation Certificate for the approved development. The landscaping is to be maintained to the approved standard at all times.
- 77. All works within the road reserve, which are subject to approval pursuant to Section 138 of the Roads Act 1993, shall be completed and accepted by council.
- 78. Vehicles shall enter and exit the site in a forward direction at all times. A plaque with minimum dimensions 300mm x 200mm shall be permanently fixed to the inside skin of the front fence, or where there is no front fence a prominent place approved by the Principal Certifying Authority, stating the following: "Vehicle shall enter and exit the site in a forward direction at all times".

79. Prior to completion of the building works, a full width vehicular entry is to be constructed to service the property. Any obsolete vehicular entries are to be removed and reconstructed with kerb and gutter. This work may be done using either a Council quote or a private contractor. There are specific requirements for approval of private contractors.
80. The width of the driveway shall be maximum of 5.8 metres at the property boundary.
81. Parking management
- (i) A convex mirror is to be installed at on both side of the entry to the basement and adjacent to the lift (three point turning area) and intersection of the basement ramp and driveway within basement to provide increased sight distance for vehicles and pedestrians.
- (ii) Drop off spaces shall have vehicle detector/sensor system to detect car spaces vacant or full. A clear automatic signage to be provided at the basement entry stating car Park Full/Empty to provide parents warning prior to the entry to the basement.
82. Bollards must be installed along the proposed pedestrian pathway adjacent to the lift. Bollard also be installed within the shared area dedicated to the disable parking space as per AS2890.6:2009.
83. Nine (9) off-street car spaces shall be provided in accordance with the submitted plan and shall be sealed and linemarked to Council's satisfaction. The pavement of all car parking spaces, manoeuvring areas and internal driveways shall comply with Australian Standard AS3727 – Guide to Residential Pavements.
84. Prior to the issue of the Final Occupation Certificate, a Section 73 Compliance Certificate under the Sydney Water Act 1994 must be obtained from Sydney Water.

It is recommended that applicants apply early for the certificate, as there may be water and sewer pipes to be built and this can take some time. This can also impact on other services and building, driveway or landscape design.

Application must be made through an authorised Water Servicing Coordinator. For help either visit www.sydneywater.com.au > Plumbing, building and developing > Developing > Land development or telephone 13 20 92.

85. Prior to occupation, a registered surveyor shall certify that the driveway(s) over the footpath and within the property have been constructed in accordance with the approved driveway profile(s). The certification shall be based on a survey of the completed works. A copy of the certificate and a works-as-executed driveway profile shall be provided to Council if Council is not the Principal Certifying Authority.
86. An appropriately qualified Noise Consultant is to certify that Australian Standard 2021- 2000 Acoustic - Aircraft Noise Intrusion has been met before an occupation certificate will be issued.
87. The noise reduction measures specified in the conditions of consent and the noise report prepared by Acoustic Logic Consultancy dated 27 July 2017 (Project Number 20170074.1) shall be validated by a Certificate of Compliance prepared by the acoustic consultant and submitted to the Principal Certifying Authority (PCA) prior to the issue of an Occupation Certificate. If Council is not the PCA, a copy shall be submitted to Council concurrently.
88. A certificate of playground safety installation compliance shall be submitted to Council prior to release of the Occupation Certificate.
89. Prior to occupation or use of the premises, a qualified mechanical engineer shall certify that the mechanical ventilation/air conditioning system complies in all respects with the requirements of Australian Standard 1668, Part 1 & 2.

90. Prior to occupation a Chartered Professional Engineer shall certify that the stormwater system has been constructed in accordance with the approved plans and as required by Rockdale Technical Specification Stormwater Management. The certificate shall be in the form specified in Rockdale Technical Specification Stormwater Management and include an evaluation of the completed drainage works. A works-as-executed drainage plan shall be prepared by a registered surveyor based on a survey of the completed works. A copy of the certificate and works-as-executed plan(s) shall be supplied to the Principal Certifying Authority. A copy shall be provided to Council if Council is not the Principal Certifying Authority.
91. The premises shall be registered with Councils Environmental Health Unit by the proprietor of the food business by completing the registration form available from Council.
92. A positive covenant pursuant to the Conveyancing Act 1919 shall be created on the title of the lots that contain the stormwater detention facility to provide for the maintenance of the detention facility.
93. The pump system, including all associated electrical and control systems, shall be tested and inspected by a suitably qualified and experienced person. Records of testing shall be retained and provided to the certifying hydraulic engineer and/or PCA upon request.
94. The owner of the premises is required to comply with the following requirements when installing a rainwater tank:
 - Inform Sydney Water that a Rainwater tank has been installed in accordance with applicable requirements of Sydney Water.
 - The overflow from the rainwater tank shall be directed to the storm water system.
 - All plumbing work proposed for the installation and reuse of rainwater shall comply with the NSW Code of Practice: Plumbing and Drainage and be installed in accordance with Sydney Water "Guidelines for rainwater tanks on residential properties.
 - A first flush device shall be installed to reduce the amount of dust, bird faeces, leaves and other matter entering the rainwater tank.
95. Plan of Management
 The Plan of Management (PoM) is to be amended to the satisfaction of Council, to include all the recommendations of the approved acoustic report (dated January 2018, prepared by Acoustic Logic) and to incorporate all relevant conditions of this consent. The revised PoM to incorporate the following;
 - a) Capacity of Centre
 - b) Hours of Operation
 - c) Staff Arrivals, distribution, numbers and roles
 - d) Indoor / Outdoor Activities and Daily Schedule of Age Groups. Consistency is required with the approved Acoustic Report.
 - e) Traffic Management and Neighbours
 - f) Sign in and Sign out Procedure
 - g) Insurances
 - h) Safety and Security Measures.
 - i) Cleaning, Maintenance, Waste and Laundry Management
 - j) Fire Safety, Certification and Emergency Evacuation Plan
 - k) Complaints and Incident Register
 - l) Noise Management Plan, including but not limited to use of outdoor play areas.

Consistency is required with the approved Acoustic Report

The noise management plan is to include:

- The total planned time for outdoor play areas per day.
- Children are to be supervised at all times to minimise noise generated by children,
- Amplified music is not to be played outside,
- Install a contact phone number at the front of the centre so that any complaints regarding centre operation can be made.
- Implement a complaint handling procedure. If a noise complaint is received the complaint should be recorded on a Complaint Form.

The complaint form should list:

- The name and address of the complainant (if provided),
- The time and date the complaint was received,
- The nature of the complaint and the time and date the noise was heard,
- The name of the employee who received the complaint,
- Actions taken to investigate the complaint, and a summary of the results of the investigation,
- Indicate what was occurring at the time the noise was heard if possible,
- Required remedial action, if required,
- Validation of the remedial action,
- Summary of feedback to the complainant,
- A permanent register of complaints should be held on the premises which shall be reviewed monthly by staff to ensure any complaints are responded to. All complaints received shall be reported to management with initial action/investigation commencing within 7 days. The complainant should also be notified of the results and actions arising from the investigation.

m) Deliveries and details of licensed external catering service to be utilised.

n) Details and a copy of the lease for residence at rear of the site, ensuring that this dwelling is at all times leased to and occupied by a member of staff directly employed at the child care facility on site.

o) Annual Review of PoM

The PoM shall be submitted to and endorsed by Bayside Council prior to the issue of the Final Occupation Certificate and commencement of the use.

96. **Geotechnical:**

Prior to occupation a Chartered Professional Engineer competent in geotechnics shall certify that the construction works has been constructed in accordance with the approved geotechnical report and include an evaluation of the completed works. A copy of the certificate shall be supplied to the Principal Certifying Authority. A copy shall be provided to Council if Council is not the Principal Certifying Authority

Integrated development/external authorities

The following conditions have been imposed in accordance with Section 91A of the Environmental Planning and Assessment Act, 1979.

97. Sydney Airport

Sydney Airport Corporation Limited (SACL) has approved the maximum height of the proposed building at 34 metres relative to Australian Height Datum (AHD). This height is inclusive of all vents, chimneys, aerials, TV antennae and construction cranes etc. No permanent or temporary structure is to exceed this height without further approval from Sydney Airport Corporation Limited.

Note: Under Section 186 of the Airports Act 1996, it is an offence not to give information to the Airport Operator that is relevant to a proposed “controlled activity” and is punishable by a fine of up to 50 penalty units.
For further information on Height Restrictions please contact SACL on 9667 9246.

Roads Act

98. The following works will be required to be undertaken in the road reserve at the applicant's expense:
- i) construction of a new fully constructed concrete vehicular entrance/s;
 - ii) removal of the existing concrete vehicular entrance/s, and/or kerb laybacks which will no longer be required;
 - iii) removal of redundant paving;
 - iv) construction of kerb and gutter.
99. All footpath, or road and drainage modification and/or improvement works to be undertaken in the road reserve shall be undertaken by Council, or by a Private Licensed Contractor subject to the submission and approval of a Private Contractor Permit, together with payment of all inspection fees. An estimate of the cost to have these works constructed by Council may be obtained by contacting Council. The cost of conducting these works will be deducted from the Footpath Reserve Restoration Deposit, or if this is insufficient the balance of the cost will be due for payment to Council upon completion of the work.
100. This Roads Act approval does not eradicate the need for the Contractor to obtain a Road Opening Permit prior to undertaking excavation in the road or footpath.
101. Any driveway works to be undertaken in the footpath reserve by a private contractor requires an “Application for Consideration by a Private Contractor” to be submitted to Council together with payment of the application fee. Works within the footpath reserve must not start until the application has been approved by Council.
102. Following completion of concrete works in the footpath reserve area, the balance of the area between the fence and the kerb over the full frontage of the proposed development shall be turfed with either buffalo or couch (not kikuyu).

Development consent advice

- a. You are advised to consult with your utility providers (i.e. Energy Aust, Telstra etc) in order to fully understand their requirements before commencement of any work.
- b. Where Council is not engaged as the Principal Certifying Authority for the issue of the Subdivision Certificate (Strata), and the Section 88B Instrument contains easements and/or covenants to which Council is a Prescribed Authority, the Council must be provided with all relevant supporting information (such as works-as-executed drainage plans and certification) prior to Council endorsing the Instrument.
- c. All asbestos fibre demolition material and asbestos dust shall be handled, stored and removed in accordance with the relevant legislation and guidelines including:
 - Work Health and Safety Act 2011
 - Work Health and Safety Regulation 2011
 - Code of Practice for the Safe Removal of Asbestos [NOHSC: 2002 (2005)]

- Code of Practice for the Management and Control of Asbestos in Workplaces [NOHSC: 2018 (2005)]
- Protection of the Environment Operations (Waste) Regulation 2005

All work procedures shall be devised to minimise the release of dust and fibres. A checklist of safety precautions when working with asbestos is available in Health & Safety Guidelines prepared by the WorkCover Authority of NSW. Collection, storage and transportation is subject to the Protection of the Environment Operations (Waste) Regulation 2005.

- d. Hazardous and/or intractable wastes arising from the demolition process shall be removed and disposed of in accordance with the requirements of the relevant statutory authorities (NSW WorkCover Authority and the NSW Environment Protection Authority), together with the relevant regulations, including:
 - Work Health and Safety Act 2011
 - Work Health and Safety Regulation 2011
 - Protection of the Environment Operations (Waste) Regulation 2005.
- e. Demolition and construction shall minimise the emission of excessive noise and prevent “offensive noise” as defined in the Protection of the Environment Operations Act 1997. Noise reduction measures shall include, but are not limited to the following strategies:
 - choosing quiet equipment
 - choosing alternatives to noisy activities
 - relocating noise sources away from affected neighbours
 - educating staff and contractors about quiet work practices
 - informing neighbours of potentially noise activities in advance
 - equipment, such as de-watering pumps, that are needed to operate on any evening or night between the hours of 8 p.m. and 7 a.m. or on any Sunday or Public Holiday, shall not cause a noise nuisance to neighbours of adjoining or nearby residences. Where the emitted noise exceeds 5 dB(A) [LAeq(15m)] above the background sound level [LA90] at the most affected point on the nearest residential boundary at any time previously stated, the equipment shall be acoustically insulated, isolated or otherwise enclosed so as to achieve the sound level objective.
- f. The water from the rainwater tank should not be used for drinking, Sydney Water shall be advised of the installation of the rainwater tank.
- g. All site works shall comply with the occupational health and safety requirements of the NSW WorkCover Authority.
- h. In the event of any inconsistency between conditions of this approval and the drawings/documents referred to in condition 2, the conditions of this approval prevail.
- i. **Ausgrid**

The following advice has been provided by Ausgrid:

Method of Electricity Connection

The method of connection will be in line with Ausgrid's Electrical Standard (ES)1 – 'Premise Connection Requirements.

Proximity to Existing Network Assets Overhead Powerlines

There are existing overhead electricity network assets in Cameron St and Bestic St.

Safework NSW Document – Work Near Overhead Powerlines: Code of Practice, outlines the minimum safety separation requirements between these mains/poles to structures within the development throughout the construction process. It is a statutory requirement that these distances be maintained throughout construction. Special consideration should be given the locating and operations of cranes and the location of any scaffolding.

The "as constructed" minimum clearances to the mains should also be considered. These distances are outlined in the Ausgrid Network Standard, NS220 Overhead Design Manual. This document can be sourced from Ausgrid's website, www.ausgrid.com.au

Based on the design of the development provided, it is expected that the "as constructed" minimum clearances will not be encroached by the building development. However it remains the responsibility of the developer and relevant contractors to verify and maintain these clearances onsite.

The proposed driveway in Cameron Street must not encompass any power poles. It is the developer's responsibility to ensure that the driveway is adequately designed and marked to minimise the risk of vehicles impacting with any nearby power pole. The developer is to ensure that any excavation does not cause destabilising of any pole in the area.

The developer is to also consider and accept the impact that existing street lighting and any future replacement street lighting and maintenance may have on the development.

Should the existing overhead mains require relocating due to the minimum safety clearances being compromised in either of the above scenarios, this relocation work is generally at the developers cost.

It is also the responsibility of the developer to ensure that the existing overhead mains have sufficient clearance from all types of vehicles that are expected be entering and leaving the site.

Underground Cables

There are existing underground electricity network assets in Bestic St adjacent to the property boundary.

Special care should also be taken to ensure that driveways and any other construction activities within the footpath area do not interfere with the existing cables in the footpath. Ausgrid cannot guarantee the depth of cables due to possible changes in ground levels from previous activities after the cables were installed. Hence it is recommended that the developer locate and record the depth of all known underground services prior to any excavation in the area.

Should ground anchors be required in the vicinity of the underground cables, the anchors must not be installed within 300mm of any cable, and the anchors must not

pass over the top of any cable. Safework Australia – Excavation Code of Practice, and Ausgrid's Network Standard NS156 outlines the minimum requirements for working around Ausgrid's underground cables.

Substation

There are existing electricity substation assets in Cameron St.

The substation ventilation openings, including substation duct openings and louvered panels, must be separated from building air intake and exhaust openings, natural ventilation openings and boundaries of adjacent allotments, by separation distances which meet the requirements of all relevant authorities, building regulations, BCA and Australian Standards including AS 1668.2: The use of ventilation and air-conditioning in buildings - Mechanical ventilation in buildings.

In addition to above, Ausgrid requires the substation ventilation openings, including duct openings and louvered panels, to be separated from building ventilation system air intake and exhaust openings, including those on buildings on adjacent allotments, by not less than 6 metres.

Exterior parts of buildings within 3 metres in any direction from substation ventilation openings, including duct openings and louvered panels, must have a fire rating level (FRL) of not less than 180/180/180 where the substation contains oil-filled equipment.

For further details on fire segregation requirements refer to Ausgrid's Network Standard 113.

Existing Ausgrid easements, leases and/or right of ways must be maintained at all times to ensure 24 hour access. No temporary or permanent alterations to this property tenure can occur without written approval from Ausgrid.

For further details refer to Ausgrid's Network Standard 143.

It is also the responsibility of the developer to ensure that the existing overhead mains have sufficient clearance from all types of vehicles that are expected be entering and leaving the site.

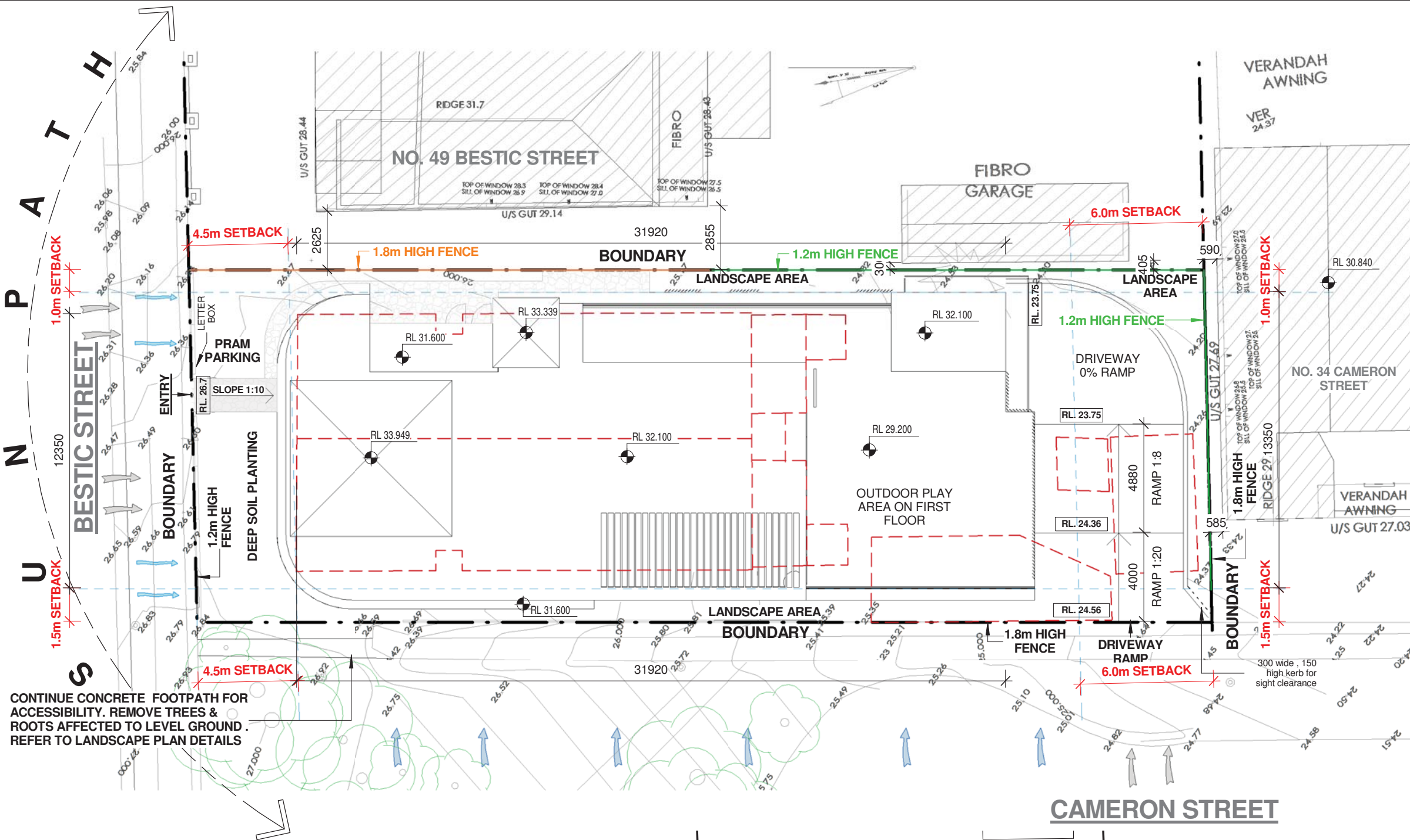
j. Roads and Maritime Services

The applicant should be advised that the subject property is within an area currently under investigation in relation to: -

The proposed F6 Project. A fact sheet on the F6 Project is enclosed for your information. Further information about the project is available by contacting the F6 Team on 1800 789 297 or motorwaydevelopment@rms.nsw.gov.au, or by visiting the project website at www.rms.nsw.gov/projects/motorwaydevelopment.

The proposed New M5 WestConnex Project. The contractor for this project has been announced and the current design for this project does not require the subject property. Please note, however, that details for the project has not been finalised and land requirements may change.

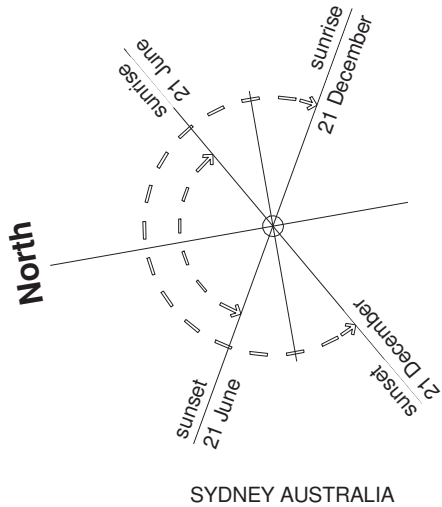
Further information about this project is available by contacting the WestConnex Team on 1300 660 248 or infor@westconnex.co.au.



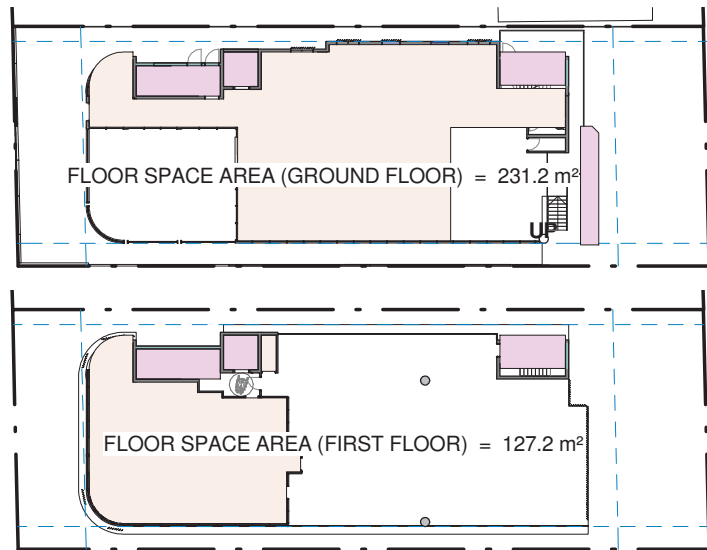
CONTINUE CONCRETE FOOTPATH FOR ACCESSIBILITY. REMOVE TREES & ROOTS AFFECTED TO LEVEL GROUND. REFER TO LANDSCAPE PLAN DETAILS

SITE PLAN
SCALE 1:200

LEGEND	
	BOUNDARY
	NORTHERLY SUMMER BREEZES
	WESTERLY PREVAILING WINDS
	SOURCE OF NOISE



SYDNEY AUSTRALIA



FLOOR SPACE CALCULATIONS

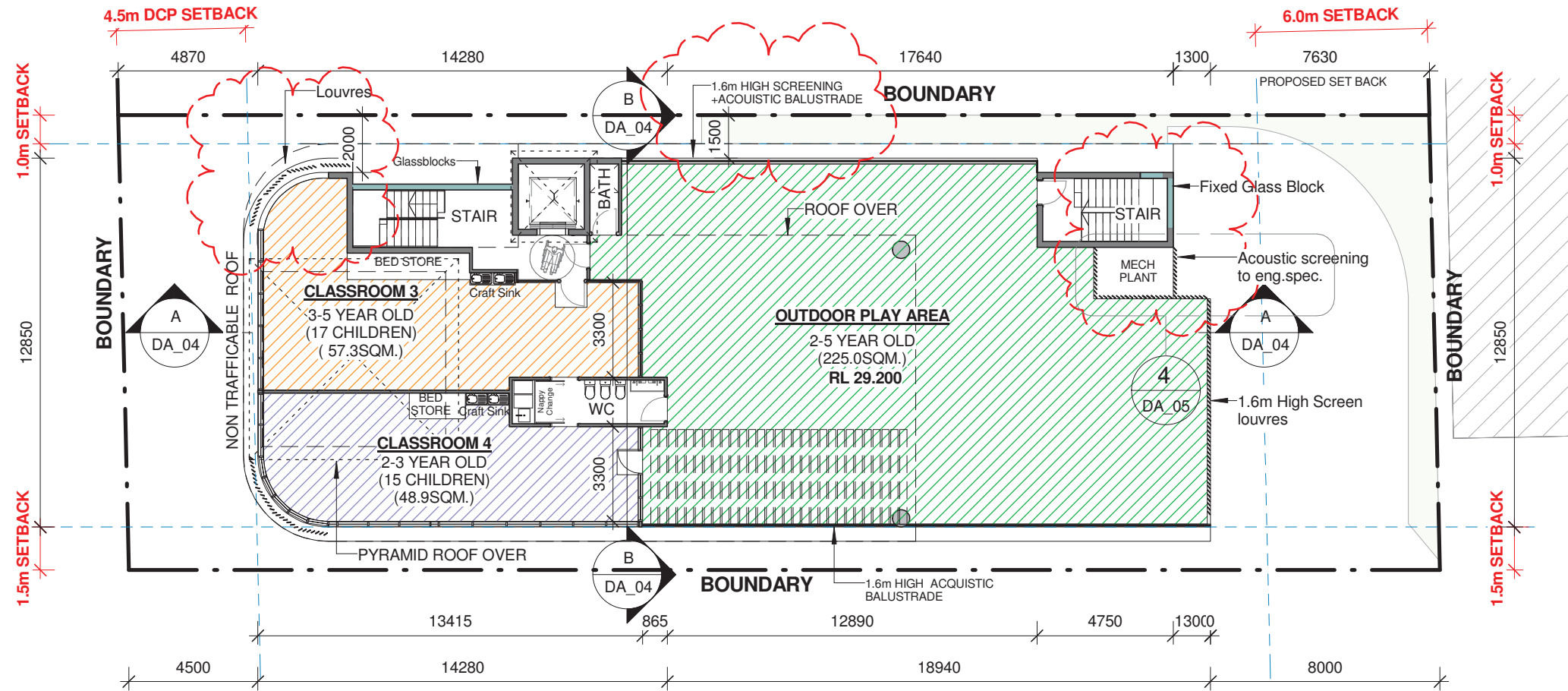
SHEET LIST	
DA_00	SITE ANALYSIS & FSR CALCULATIONS
DA_01	FIRST FLOOR & GROUND FLOOR PLAN
DA_02	BASEMENT (CAR PARKING) & ROOF PLAN
DA_03	ELEVATIONS
DA_04	SECTIONS
DA_05	DRIVEWAY RAMP PROFILE
DA_06	EXTERNAL FINISHES & STREETScape ANALYSIS
DA_07	NOTIFICATION PLAN
DA_08	SHADOW ANALYSIS
DA_09	3D SHADOW ANALYSIS
DA_10	3D SOLAR ACCESS ANALYSIS
DA_11	ENTRANCE AND KITCHEN DETAILS
DA_12	KITCHEN, LAUNDRY & BOTTLE PREP DETAILS

DEVELOPMENT DETAILS:	
SITE AREA (FOR PROPOSED DA)	724.7 m²
PERMISSIBLE FLOOR SPACE RATIO	0.5 : 1 = 362.35 m²
PROPOSED FLOOR SPACE RATIO	= 339.3 m² = 0.46:1
CHILDCARE CENTRE AGE GROUPS:	
0 - 2 YR OLDS	18
2 - 3 YR OLDS	15
3 - 6 YR OLDS	17
TOTAL NO. OF CHILDREN	50

STAFF RATIO CALCULATIONS	
QUALIFIED STAFF FOR 0-2 YR OLDS 18 CHILDREN	RATIO = 1:4 STAFF REQUIRED = 5
QUALIFIED STAFF FOR 2-3 YR OLDS 15 CHILDREN	RATIO = 1:5 STAFF REQUIRED = 3
QUALIFIED STAFF FOR 3-6 YR OLDS 17 CHILDREN	RATIO = 1:10 STAFF REQUIRED = 2
TOTAL NO. OF QUALIFIED STAFF REQUIRED	= 10

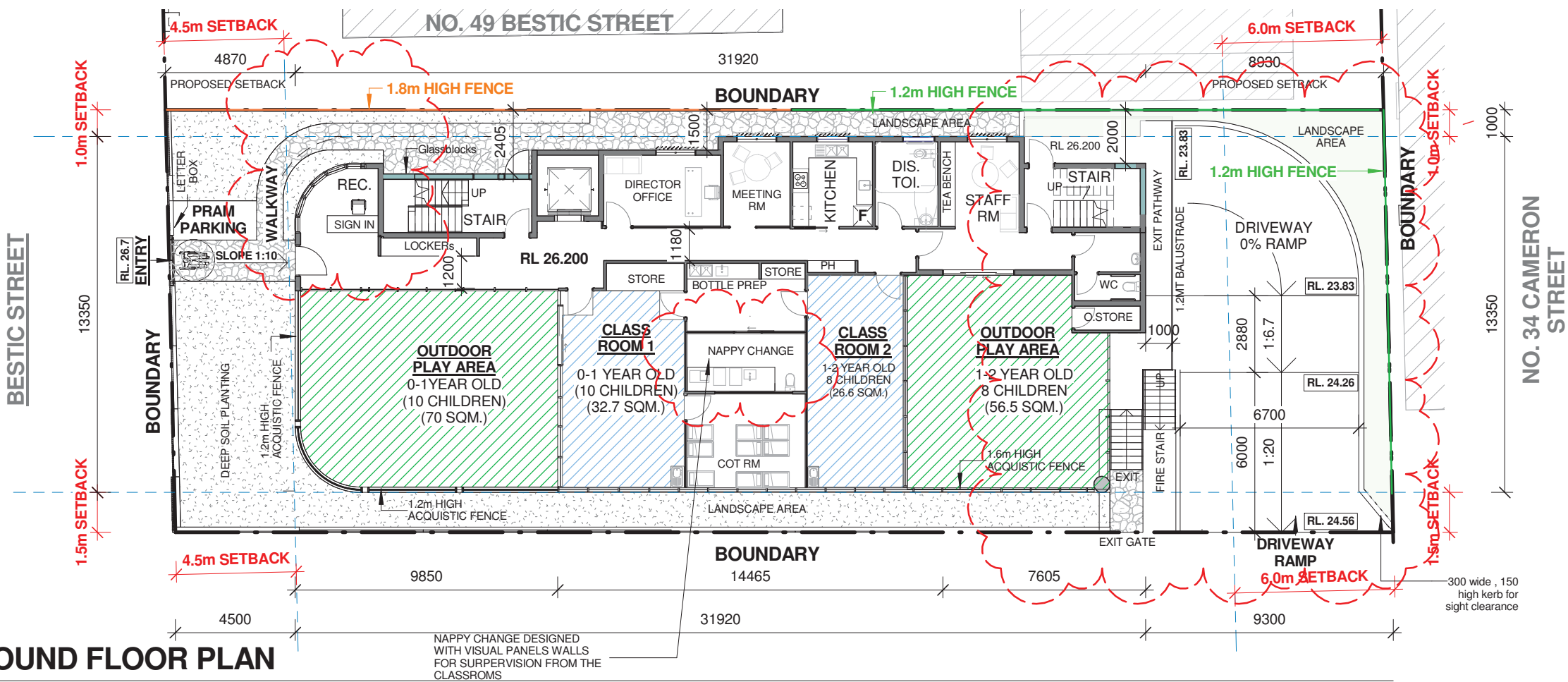
CAR PARKING SPACES	
REQUIREMENTS: (BASED ON ROCKDALE COUNCIL'S DCP)	
1 Car Park Space per 2 staff members(+1cook) 11/2 = 5.5=6	
1 Car Park Space per 20 children 50/20 = 3	
1 Bicycle space per 10 children (cycle) 50/10 = 5	
TOTAL 9 CAR SPACES + 5 BICYCLE PARK SPACE	
PROVISION TOTAL 9 CAR SPACES + 5 BICYCLE PARKING SPACE	
DEMOLITION	
AREA INCLUDED IN FSR	
AREA FOR VERTICAL CIRCULATION	
LANDSCAPE AREA (20.89%)	151.4 m²

FOR	ISSUE	DATE	AMENDMENT	NOTES . THIS DRAWING IS NOT FOR CONSTRUCTION	PROPOSED CHILDCARE CENTER AT 47- 47A, BESTIC STREET, ROCKDALE	True North:	
DA	G	12/03/2018	COUNCIL	ALL BUILDING WORK TO COMPLY WITH BCA AND SAA CODES AND RELEVANT AUTHORITIES REQUIREMENTS. ALL STEEL, CONCRETE AND TIMBER WORK TO BE IN ACCORDANCE WITH STRUCTURAL ENGINEERS SPECIFICATIONS AND RELEVANT SAA CODES. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER. ALL DIMENSIONS TO BE CONFIRMED ON SITE. CONTACT THE ARCHITECT IF ANY DOUBT OR DISCREPANCY ARISES. READ FIGURED DIMENSIONS IN PREFERENCE TO SCALING.	SITE ANALYSIS PLAN & FSR CALCULATIONS		Scale : As indicated @ A3
				© COPYRIGHT REMAINS WITH LAURIE LISKOWSKI ARCHITECTS	Laurie Liskowski Architect LEVEL 9, 28 FOVEAUX STREET, SURRY HILLS, NSW 2010		Date : 12 MARCH 2018
					Nominated Architect: Laurie Liskowski 4224 Ph 02 9212 3266 E info@liskowski.com.au		Drawing Number : 16111_DA_00
							G



1 FIRST FLOOR PLAN

1 : 200



2 GROUND FLOOR PLAN

1 : 200

UNENCUMBERED SPACES:	
Unencumbered spaces excludes walls, columns, craft benches and stores.	
0-2 YEAR OLDS (18 children)	
INDOOR (Required 18 x 3.25 = 58.5)	58.5 m ²
OUTDOOR (Required 18 x 7 = 126)	126 m ²
2-3 YEAR OLDS (15 children)	
INDOOR (Required 15 x 3.25 = 48.75)	48.75 m ²
OUTDOOR (Required 15 x 7 = 105)	105 m ²
3-6 YEAR OLDS (17 children)	
INDOOR (Required 17 x 3.25 = 55.25)	55.25 m ²
OUTDOOR (Required 17 x 7 = 119)	119 m ²

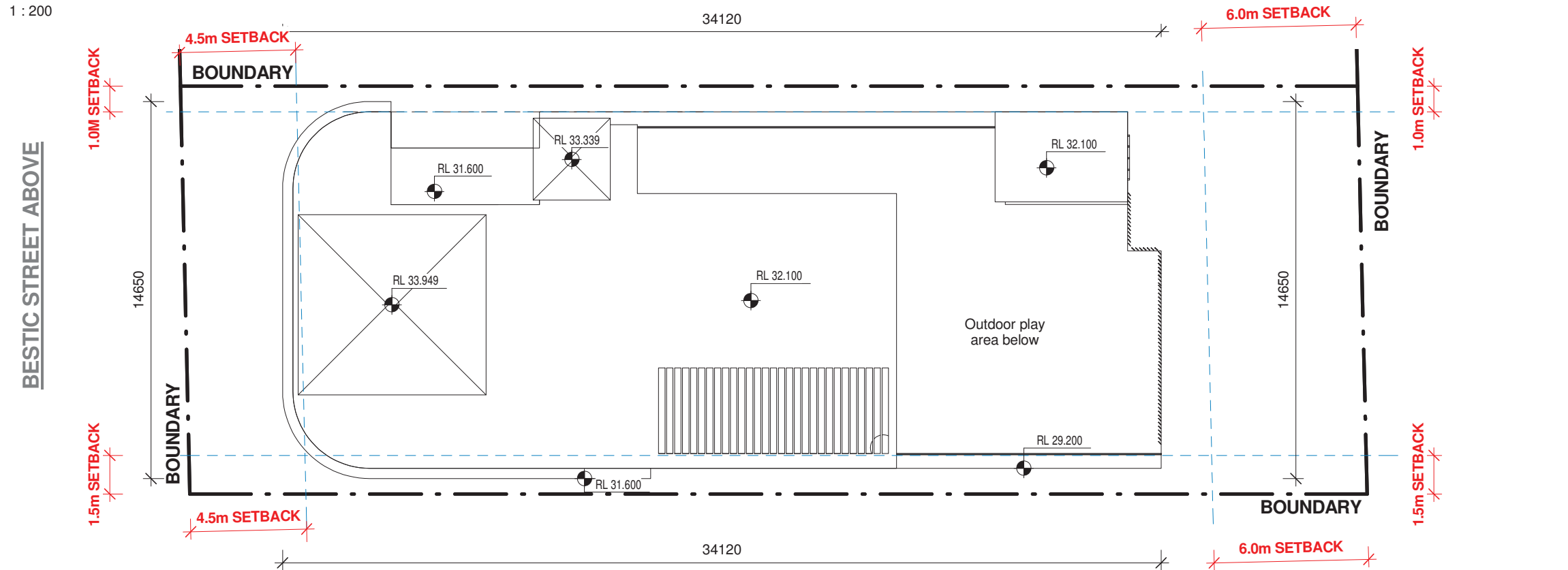
AMENITIES:
JUNIOR TOILETS
"DOCS" (1 PER 8 FOR KIDS OVER 2 YRS) "BCA" (1 PER 15) TOILETS PROVIDED 6 FOR 48 KIDS OVER 2 YRS "BCA" STATES THAT ONE BATH OR SHOWER BATH MUST BE PROVIDED.
LAUNDRY
"DCP" REFER TO BCA F2.3 (Cii) MUST PROVIDE: WASH TUB & WASHING MACHINE .
FOOD PREPARATION / KITCHEN
"BCA" REFER TO BCA F2.3 MUST PROVIDE: KITCHEN SINK (HOT WATER) , REFRIGERATOR & STOVE AND MICROWAVE.
TOILETS AND HANDBASINS
"BCA" REFER TO BCA F2.3
NAPPY CHANGE
MUST PROVIDE 1 PER EVERY 10 CHILDREN UNDER 3 YRS NAPPY REQUIRED = 3, PROVIDED = 3 "BCA" STATES THAT IF THE CENTRE ACCOMMODATES CHILDREN UNDER THE AGE OF 3 THEY MUST INCLUDE A DEDICATED BENCH TYPE BABY BATH .

LEGEND	
	0-2 PLAYROOM UNENCUMBERED AREA 58.5 SQM = 18 CHILDREN
	2-3 PLAYROOM UNENCUMBERED AREA 48.75 SQM = 15 CHILDREN
	3-5 PLAYROOM UNENCUMBERED AREA 55.25 SQM = 17 CHILDREN
	TOTAL OUTDOOR PLAY UNENCUMBERED AREA 350 SQM = 50 CHILDREN
TOTAL 50 CHILDREN	

1

BASEMENT (CAR PARKING) FLOOR PLAN

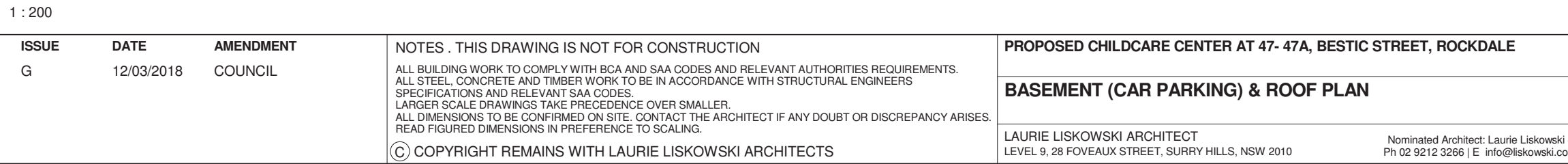
1 : 200



2


ROOF PLAN

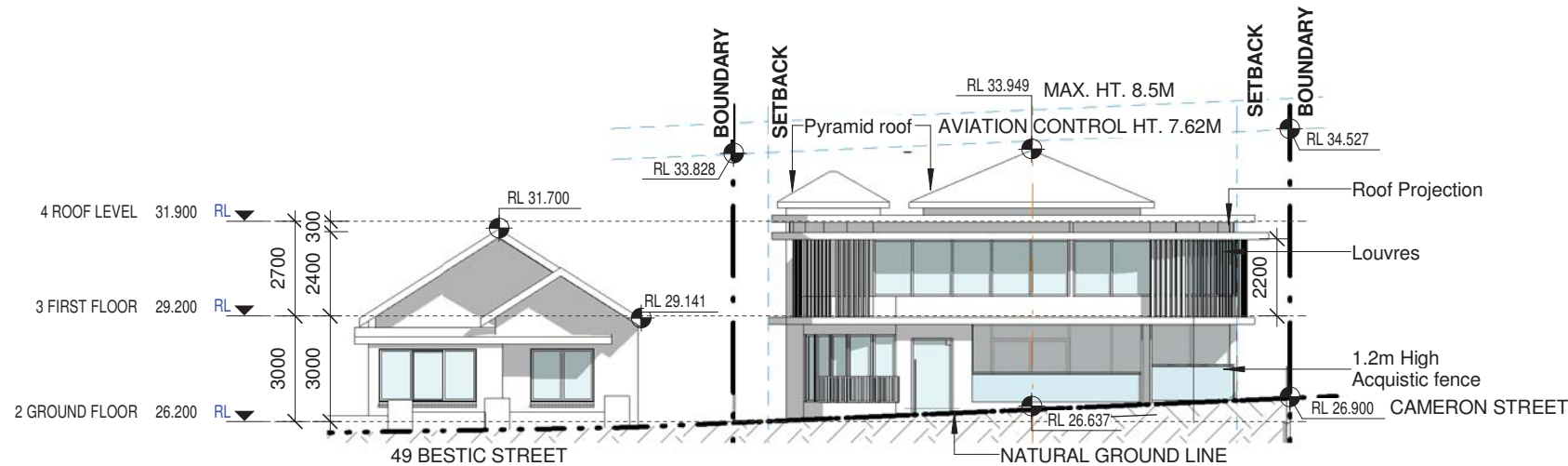
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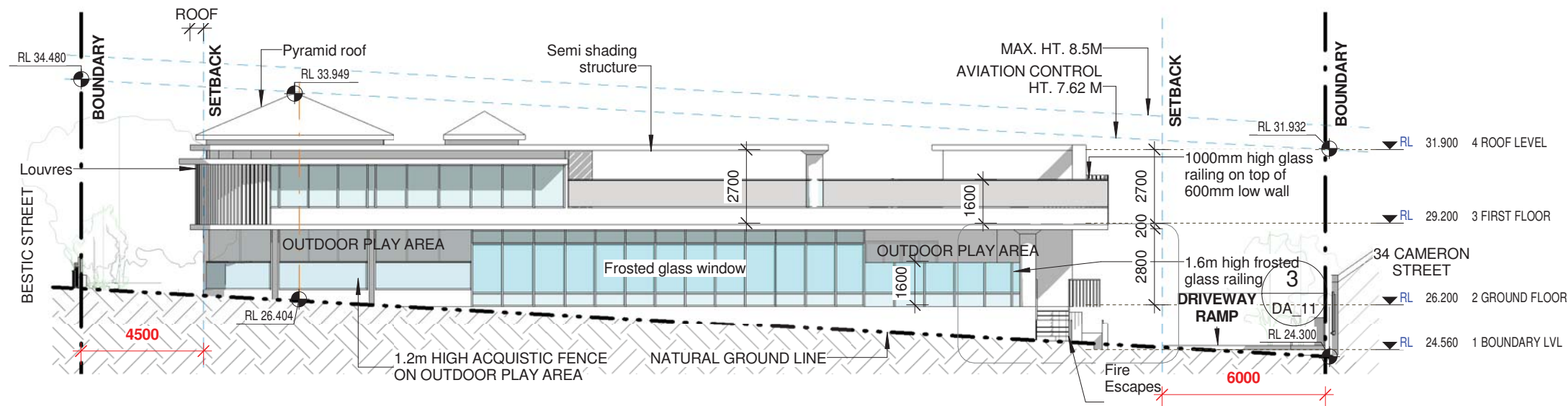
UNENCUMBERED SPACES:	
Unencumbered spaces excludes walls, columns, craft benches and stores.	
0-2 YEAR OLDS (18 children)	
INDOOR (Required 18 x 3.25 = 58.5)	58.5 m²
OUTDOOR (Required 18x 7 = 126)	126 m²
2-3 YEAR OLDS (15 children)	
INDOOR (Required 15 x 3.25 = 48.75)	48.75 m²
OUTDOOR (Required 15 x 7 = 105)	105 m²
3-6 YEAR OLDS (17 children)	
INDOOR (Required 17 x 3.25 = 55.25)	55.25 m²
OUTDOOR (Required 17 x 7 = 119)	119 m²
AMENITIES:	
JUNIOR TOILETS	
"DOCS" (1 PER 8 FOR KIDS OVER 2 YRS) "BCA" (1 PER 15) TOILETS PROVIDED 6 FOR 48 KIDS OVER 2 YRS "BCA" STATES THAT ONE BATH OR SHOWER BATH MUST BE PROVIDED.	
LAUNDRY	
"DCP" REFER TO BCA F2.3 (Cii) MUST PROVIDE: WASH TUB & WASHING MACHINE .	
FOOD PREPARATION / KITCHEN	
"BCA" REFER TO BCA F2.3 MUST PROVIDE: KITCHEN SINK (HOT WATER) , REFRIGERATOR & STOVE AND MICROWAVE.	
TOILETS AND HANDBASINS	
"BCA" REFER TO BCA F2.3	
NAPPY CHANGE	
MUST PROVIDE 1 PER EVERY 10 CHILDREN UNDER 3 YRS NAPPY REQUIRED = 3, PROVIDED = 3 "BCA" STATES THAT IF THE CENTRE ACCOMMODATES CHILDREN UNDER THE AGE OF 3 THEY MUST INCLUDE A DEDICATED BENCH TYPE BABY BATH .	

LEGEND	
<div></div>	UNENCUMBERED AREA

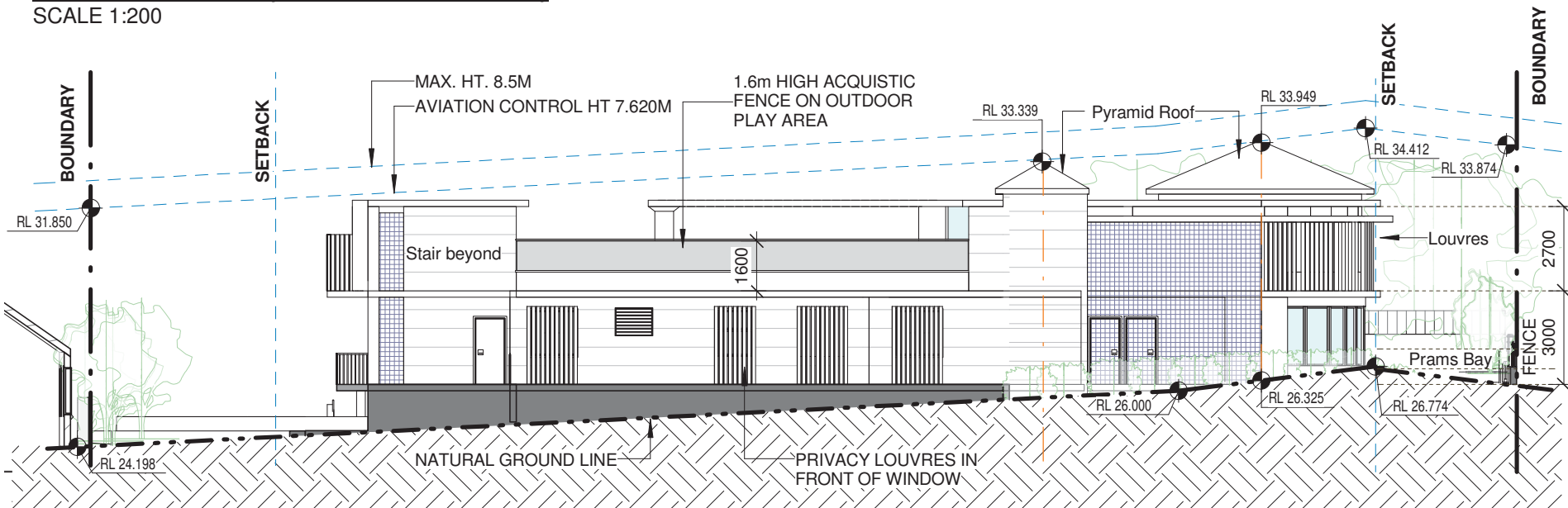
FOR	ISSUE	DATE	AMENDMENT	NOTES . THIS DRAWING IS NOT FOR CONSTRUCTION	PROPOSED CHILDCARE CENTER AT 47- 47A, BESTIC STREET, ROCKDALE		<div>True North:</div> 	Scale : As indicated @ A3
DA	G	12/03/2018	COUNCIL	ALL BUILDING WORK TO COMPLY WITH BCA AND SAA CODES AND RELEVANT AUTHORITIES REQUIREMENTS. ALL STEEL, CONCRETE AND TIMBER WORK TO BE IN ACCORDANCE WITH STRUCTURAL ENGINEERS SPECIFICATIONS AND RELEVANT SAA CODES. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER. ALL DIMENSIONS TO BE CONFIRMED ON SITE. CONTACT THE ARCHITECT IF ANY DOUBT OR DISCREPANCY ARISES. READ FIGURED DIMENSIONS IN PREFERENCE TO SCALING.	BASEMENT (CAR PARKING) & ROOF PLAN			Date : 12 MARCH 2018
				© COPYRIGHT REMAINS WITH LAURIE LISKOWSKI ARCHITECTS	LAURIE LISKOWSKI ARCHITECT LEVEL 9, 28 FOVEAUX STREET, SURRY HILLS, NSW 2010	Nominated Architect: Laurie Liskowski 4224 Ph 02 9212 3266 E info@liskowski.com.au		Drawing Number : 16111_ DA_02
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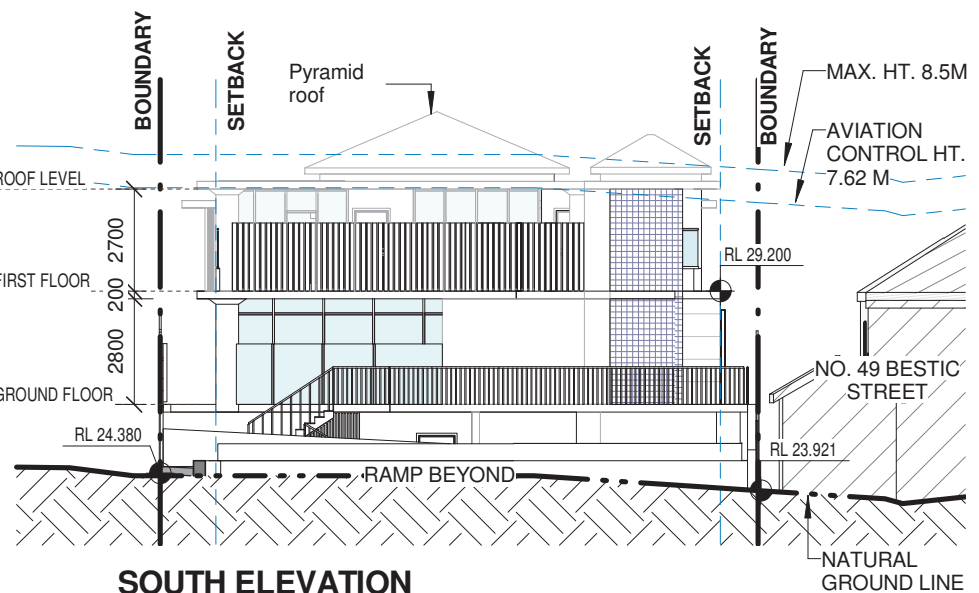
NORTH ELEVATION (Bestic Street front)
SCALE 1:200



WEST ELEVATION (Cameron Street Front)
SCALE 1:200



EAST ELEVATION
SCALE 1:200



SOUTH ELEVATION
SCALE 1:200

UNENCUMBERED SPACES:

Unencumbered spaces excludes walls, columns, craft benches and stores.

0-2 YEAR OLDS (18 children)	
INDOOR (Required 18 x 3.25 = 58.5)	58.5 m ²
OUTDOOR (Required 18x 7 = 126)	126 m ²
2-3 YEAR OLDS (15 children)	
INDOOR (Required 15 x 3.25 = 48.75)	48.75 m ²
OUTDOOR (Required 15 x 7 = 105)	105 m ²
3-6 YEAR OLDS (17 children)	
INDOOR (Required 17 x 3.25 = 55.25)	55.25 m ²
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AMENITIES:

JUNIOR TOILETS

"DOCS" (1 PER 8 FOR KIDS OVER 2 YRS)
"BCA" (1 PER 15)
TOILETS PROVIDED 6 FOR 48 KIDS OVER 2 YRS
"BCA" STATES THAT ONE BATH OR SHOWER BATH MUST BE PROVIDED.

LAUNDRY

"DCP" REFER TO BCA F2.3 (Cii)
MUST PROVIDE:
WASH TUB & WASHING MACHINE .

FOOD PREPARATION / KITCHEN

"BCA" REFER TO BCA F2.3
MUST PROVIDE:
KITCHEN SINK (HOT WATER) , REFRIGERATOR & STOVE AND MICROWAVE.

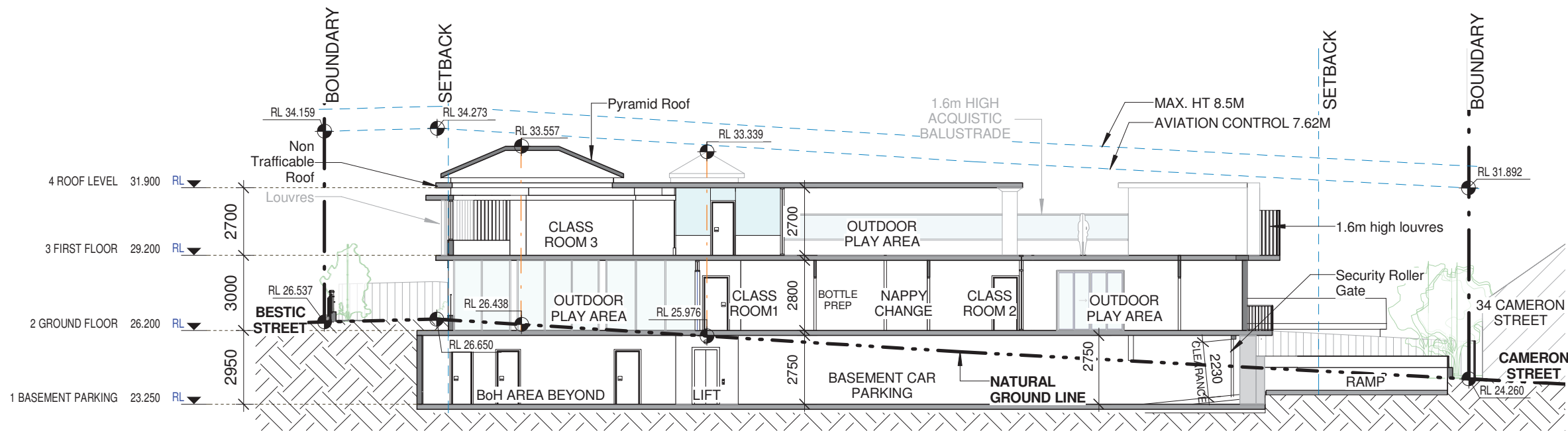
TOILETS AND HANDBASINS

"BCA" REFER TO BCA F2.3

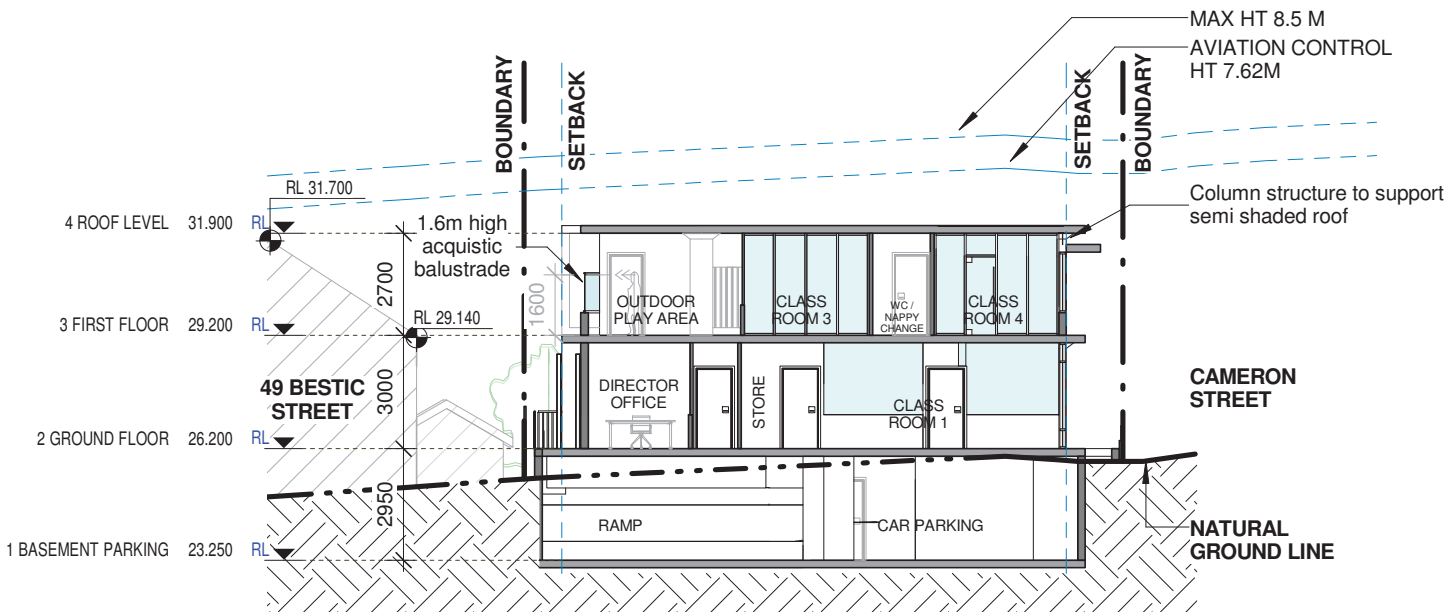
NAPPY CHANGE

MUST PROVIDE 1 PER EVERY 10 CHILDREN UNDER 3 YRS
NAPPY REQUIRED = 3, PROVIDED = 3
"BCA" STATES THAT IF THE CENTRE ACCOMMODATES CHILDREN UNDER THE AGE OF 3 THEY MUST INCLUDE A DEDICATED BENCH TYPE BABY BATH .

FOR	ISSUE	DATE	AMENDMENT	NOTES . THIS DRAWING IS NOT FOR CONSTRUCTION	PROPOSED CHILDCARE CENTER AT 47- 47A, BESTIC STREET, ROCKDALE	True North:	Scale : As indicated @ A3
DA	G	12/03/2018	COUNCIL	ALL BUILDING WORK TO COMPLY WITH BCA AND SAA CODES AND RELEVANT AUTHORITIES REQUIREMENTS. ALL STEEL, CONCRETE AND TIMBER WORK TO BE IN ACCORDANCE WITH STRUCTURAL ENGINEERS SPECIFICATIONS AND RELEVANT SAA CODES. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER. ALL DIMENSIONS TO BE CONFIRMED ON SITE. CONTACT THE ARCHITECT IF ANY DOUBT OR DISCREPANCY ARISES. READ FIGURED DIMENSIONS IN PREFERENCE TO SCALING.	ELEVATIONS		Date : 12 MARCH 2018
				© COPYRIGHT REMAINS WITH LAURIE LISKOWSKI ARCHITECTS	Laurie Liskowski Architect LEVEL 9, 28 FOVEAUX STREET, SURRY HILLS, NSW 2010	Nominated Architect: Laurie Liskowski 4224 Ph 02 9212 3266 E info@liskowski.com.au	Drawing Number : 16111_DA_03
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SECTION A
SCALE 1:200

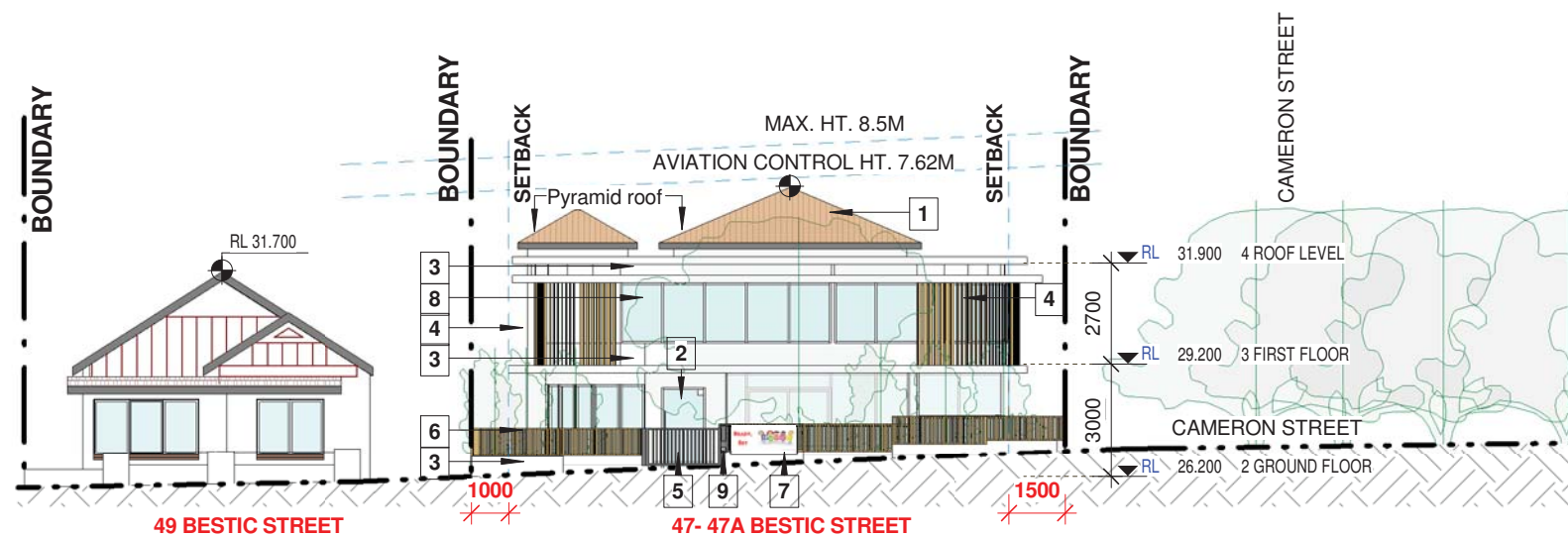


SECTION B
SCALE 1:200

UNENCUMBERED SPACES:	
Unencumbered spaces excludes walls, columns, craft benches and stores.	
0-2 YEAR OLDS (18 children)	
INDOOR (Required 18 x 3.25 = 58.5)	58.5 m²
OUTDOOR (Required 18x 7 = 126)	126 m²
2-3 YEAR OLDS (15 children)	
INDOOR (Required 15 x 3.25 = 48.75)	48.75 m²
OUTDOOR (Required 15 x 7 = 105)	105 m²
3-6 YEAR OLDS (17 children)	
INDOOR (Required 17 x 3.25 = 55.25)	55.25 m²
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"BCA" REFER TO BCA F2.3
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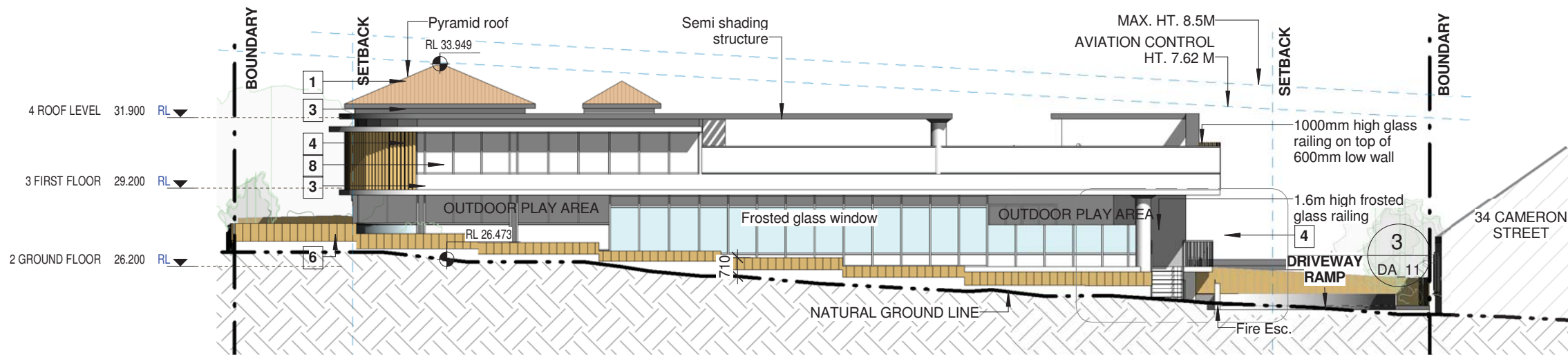
FOR	ISSUE	DATE	AMENDMENT	NOTES . THIS DRAWING IS NOT FOR CONSTRUCTION	PROPOSED CHILDCARE CENTER AT 47- 47A, BESTIC STREET, ROCKDALE	True North:	Scale : As indicated @ A3	
DA	G	12/03/2018	COUNCIL	ALL BUILDING WORK TO COMPLY WITH BCA AND SAA CODES AND RELEVANT AUTHORITIES REQUIREMENTS. ALL STEEL, CONCRETE AND TIMBER WORK TO BE IN ACCORDANCE WITH STRUCTURAL ENGINEERS SPECIFICATIONS AND RELEVANT SAA CODES. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER. ALL DIMENSIONS TO BE CONFIRMED ON SITE. CONTACT THE ARCHITECT IF ANY DOUBT OR DISCREPANCY ARISES. READ FIGURED DIMENSIONS IN PREFERENCE TO SCALING.	SECTIONS		Date : 12 MARCH 2018	Drawing Number : 16111_DA_04
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LEGEND	
1	COLORBOND KLIP-LOK 306 COPPER LOOK
2	ALUMINIUM LIGHT BRONZE ENTRY DOOR
3	LIGHT CREAM COLOUR PAINT FINISH
4	TIMBER LOOK LOUVRES
5	DARK GREY METAL SECURITY GATE
6	TIMBER SLAT FENCE WITH GAPS
7	SURFACE MOUNTED SIGNAGE BOARD
8	ALUMINIUM LIGHT BRONZE WINDOWS
9	CALL BELL, SECURITY SCANNER & NO PLATE

STREET ELEVATION & EXTERNAL FINISHES
(BESTIC STREET)

SCALE 1:200



STREET ELEVATION & EXTERNAL FINISHES (CAMERON STREET)

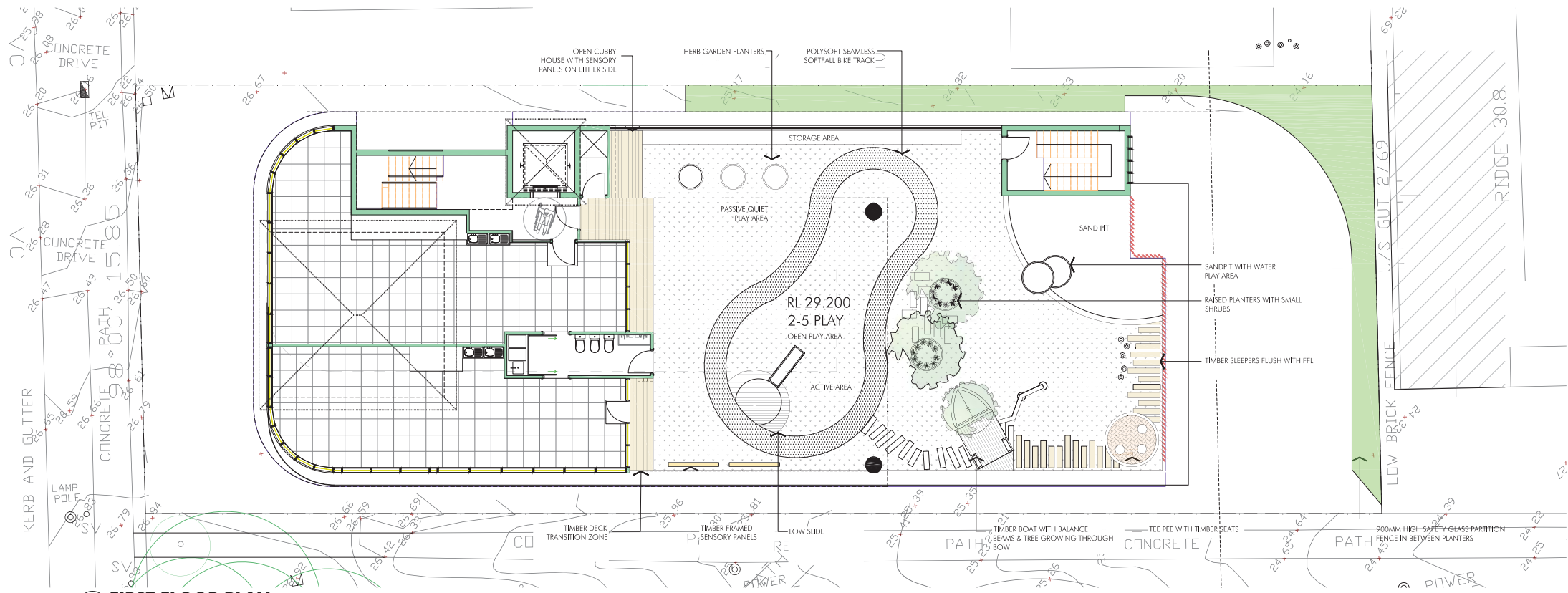
SCALE 1:200

STREETSCAPE ANALYSIS

- ** The **colour, form & texture** of the proposed building does not increase the bulk of the urban form and is in keeping with the main elements and forms of the neighbouring property.
- ** The design of **boundary wall** draws its inference from the neighbouring residence on Bestic street and meets the Child Safety Regulations.
- ** The new childcare centre is generally presented in a contemporary form of architecture consistent with its function and at the same time incorporates major elements of the neighbouring buildings in the street.

FOR DA	ISSUE G	DATE 12/03/2018	AMENDMENT COUNCIL	NOTES . THIS DRAWING IS NOT FOR CONSTRUCTION ALL BUILDING WORK TO COMPLY WITH BCA AND SAA CODES AND RELEVANT AUTHORITIES REQUIREMENTS. ALL STEEL, CONCRETE AND TIMBER WORK TO BE IN ACCORDANCE WITH STRUCTURAL ENGINEERS SPECIFICATIONS AND RELEVANT SAA CODES. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER. ALL DIMENSIONS TO BE CONFIRMED ON SITE. CONTACT THE ARCHITECT IF ANY DOUBT OR DISCREPANCY ARISES. READ FIGURED DIMENSIONS IN PREFERENCE TO SCALING. © COPYRIGHT REMAINS WITH LAURIE LISKOWSKI ARCHITECTS	PROPOSED CHILDCARE CENTER AT 47- 47A, BESTIC STREET, ROCKDALE EXTERNAL FINISHES & STREETSCAPE ANALYSIS LAURIE LISKOWSKI ARCHITECT LEVEL 9, 28 FOVEAUX STREET, SURRY HILLS, NSW 2010 Nominated Architect: Laurie Liskowski 4224 Ph 02 9212 3266 E info@liskowski.com.au	True North:	Scale : As indicated @ A3 Date : 12 MARCH 2018 Drawing Number : 16111_ DA_06 G
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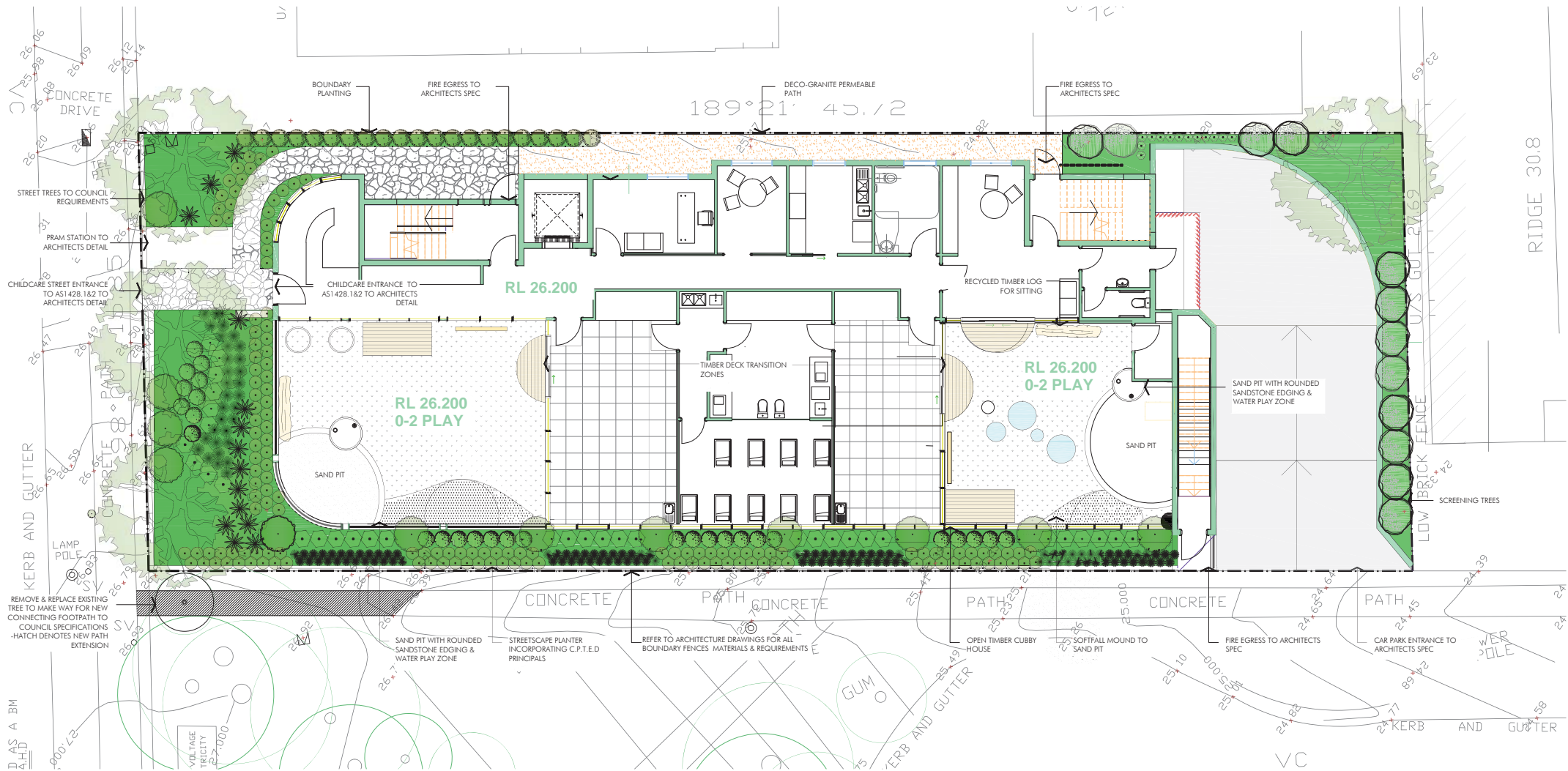
BESTIC STREET



LEGEND

- BENCHMARK NAIL TOP OF KERB A.H.D RL 38.025
- EXISTING SPOT LEVEL BY SURVEYOR
- PROPOSED RL
- RECYCLED BRICK PAVING
- TIMBER DECK/TRANSITION ZONE
- MULTI COLOURED COBBLE STONES
- PROPOSED 32MM PERMEABLE ARTIFICIAL TURF WITH SOFTFALL UNDERLAY WHERE REQUIRED TO MANUFACTURES SPEC
- PROPOSED PERMEABLE SOFT FALL AREA TO MANUFACTURES SPEC
- PROPOSED PLANTING
- EXISTING VEGETATION TO BE REMOVED
- PROPOSED SHADED AREAS OVER SAND PIT TO DECS REQUIREMENTS
- MULTI LEVEL HARDWOOD POSTS
- SANDSTONE STEPPERS
- GRADED INLET TO HYDRAULIC ENGINEERS REPORT

BESTIC STREET



PROPOSED GROUND FLOOR PLANTING SCHEDULE						
CODE	BOTANICAL NAME	COMMON NAME	CENTRES	POT SIZE	HEIGHT/SPAN	TOTAL
LILIES/GRASSES						
1	DORYANTHES EXCELSA	GYMEA LILY	AS SHOWN	400MM	2X2M	14
2	LAMANDRA LONGIFOLIA TANICA	TANICA	AS SHOWN	140MM	500x500MM	120
3	DIETES BI-COLOUR	DIETES BI-COLOUR	AS SHOWN	140MM	300x300MM	20
4	DIANELLA CAERULEA	LITTLE JESS	AS SHOWN	140MM	300x300MM	96
5	PENNISETUM SETACEUM	FOXTAIL GRASS	AS SHOWN	140MM	1X1M	32
SHRUBS/FERNS/TREES						
6	CORREA ALBA	WHITE CORREA	AS SHOWN	200MM	1.5Mx1M	28
7	WYSTRINGIA FRUCTOSA	NATIVE ROSMARY	AS SHOWN	200MM	2X2M	34
8	MAGNOLIA GRANDIFLORA LITTLE GEM	LITTLE GEM	AS SHOWN	300MM	2.5Mx4M	12
9	TRISTANOPSIS LAURINA	WATERGUM	AS SHOWN	150LTR	10X5M	4
10	RHAPIS EXCELSA	LADY PALM	AS SHOWN	300MM	1X2M	21
11	ACHENA SMITHII VAR MINOR	LILLY PILLY	1000MM	400MM	4X2M	12
12	ACER PALMATUM	JAPANESE MAPLE	AS SHOWN	100LTR	3X3M	2
GROUND COVERS						
13	VIOLA HEDERACEA	NATIVE VIOLET		SEED	100x200MM	AS REQUIRED
14	DICHOCHORDA REPENS	KIDNEY WEED		SEED		AS REQUIRED
15	CARPOBROTUS GLAUCEUS	PIGS FACE	AS SHOWN	200MM	200x200MM	AS REQUIRED

1 GROUND FLOOR PLAN 1:100