
Bayside Planning Panel

24/10/2017

Item No	5.1
Application Type	Development Application
Application Number	DA-2017/353
Lodgement Date	15 May 2017
Property	47 Churchill Street, Bardwell Park
Owner	Mr P J Poulos and Ms V Patsos
Applicant	Michael Kitmiridis Architect
Proposal	Alterations and additions to existing dwelling comprised of ground and first floor addition, new front fence and vehicular footway crossing
No. of Submissions	Nil
Cost of Development	\$200,000
Report by	Michael Maloof, Senior Development Assessment Planner

Officer Recommendation

- 1 That development application DA-2017/353 for alterations and additions to an existing dwelling comprising of a ground and first floor addition, new front fence and vehicular footway crossing at 47 Churchill Street, Bardwell Park be **APPROVED** pursuant to Section 80(1)(a) of the Environmental Planning and Assessment Act 1979 and subject to the conditions of consent attached to this report.
 - 2 That the objector be advised of the Bayside Planning Panel's decision.
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Attachments

- 1 Consultant Planning Assessment Report
 - 2 Compliance Table Assessment
 - 3 Draft Notice of Determination
 - 4 Survey Plan
 - 5 Site Plan, Roof Plan and Demolition Plan
 - 6 Elevations, Streetscape, Section Plan and Finishes
 - 7 Perspectives
 - 8 Section BB, Section CC and Shadows Plan
 - 9 Cover Sheet and Site Analysis
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Location Plan



BAYSIDE COUNCIL

Planning Assessment Report

Application Details

Application Number:	DA-2017/353
Date of Receipt:	15 May 2017
Property:	47 Churchill Street, Bardwell Park NSW 2207
Owner:	Vicki Patsos and Peter John Poulos
Applicant:	Michael Kitmiridis Architect
Proposal:	Alterations and additions to an existing dwelling comprising of a ground and first floor addition, new front fence and vehicular footway crossing.
Recommendation:	Approval, subject to conditions
Submissions:	Nil
Author:	Creative Planning Solutions Pty Ltd: <ul style="list-style-type: none">– Prepared by: James Arnold, Senior Planner– Reviewed by: Ben Tesoriero, Director
Date of Report:	9 October 2017

Key Issues

- **Streetscape** – The design of the proposed two-storey rear addition is considered to be incompatible with the streetscape which is inconsistent with a range of objectives and controls of the Rockdale Development Control Plan 2011 (RDCP2011). The streetscape is relatively consistent in architectural style and built form being predominately traditional red brick dwellings with pitched roofs, including the existing dwelling on the site. The design of the addition is considered to be overly rigid with a flat parapet roof and minimal fenestration or articulation to the street elevation. Given the prominence of the site on a corner and at the crest of a hill, this design is not supported. Conditions are recommended to resolve these design issues which will ensure the development will be more sympathetic to the character of the area.

- **Private Open Space** – Part 4.3.2 of the RDCP2011 requires a minimum of 80sqm of private open space (POS) for the proposed development. The proposal includes a non-compliant 65sqm which is considered acceptable, as the area provided is considered to be of high amenity and functionality receiving good solar access and enabling a range of private outdoor activities. Furthermore, the layout of the rear addition allows for the open plan living area to open out on to the POS which will effectively act as an extension to the POS area.
- **Garage secondary street setback** – Part 5.1 of the RDCP2011 requires a minimum secondary street setback of 1.5m. The proposal includes a new double garage to the Hutchinson Street frontage with a nil setback which does not comply. This setback is not supported as the garage, combined with the aforementioned design issues with the rear addition, will detract from the streetscape in this prominent location. Conditions are recommended to resolve this issue by requiring a setback of at least 800mm, which is considered sufficient in this instance to appropriately reduce the garage prominence.
- **First floor rear setback** – Part 5.1 of the RDCP2011 requires a minimum rear setback of 6m for the first floor of a two-storey building. The proposed two-storey rear addition has a first floor rear setback of 5.2m which does not comply. The rear setback is supported as the ground and first floor are at 5.2m where only 3m is required to the ground, and the rear setback provided is sufficient to provide a high quality private open space area and will not lead to any adverse impacts on adjoining properties, such as through overshadowing or loss of visual privacy.

Recommendation

The development application DA-2017/353 for alterations and additions to an existing dwelling comprising of a ground and first floor addition, new front fence and vehicular footway crossing at 47 Churchill Street, Bardwell Park be **APPROVED** subject to the attached conditions pursuant to Section 80(1) of the *Environmental Planning and Assessment Act 1979*.

Background

- On 15 May 2017, the subject DA was lodged with Council.
- Between 25 May 2017 and 9 June 2017, the DA was publicly notified in accordance with the provisions of the RDCP2011. No submissions were received.
- On 7 July 2017, Council received amended plans. The key changes were the single garage was replaced with a double garage and bedroom 3 was replaced with an open music / children's play area.
- Between 13 July 2017 and 28 July 2017, as a result of the amended plans that were

received, the proposal was re-notified. No submissions were received.

- On 14 August 2017, Council's Consultant Planner was engaged.
- On 18 August 2017, following a preliminary assessment of the amended plans, the consultant planner provided the content for an additional information letter to Council raising the following issues:
 - Character of the local area – Concern was raised that the design of the two-storey rear addition component of the development was incompatible with the streetscape. The streetscape was considered relatively consistent in architectural style being predominately traditional red brick dwellings with pitched roofs, including the existing dwelling on the site. The addition was considered rigid with a flat parapet roof and minimal fenestration or articulation to the side elevations.
 - Garage secondary street setback – Concern was raised that the garage portion of the secondary street setback did not comply with the 1.5m requirement of the RDCP2011 with a nil setback provided.
- On 11 September 2017, in response to council's additional information request, emails were received from the applicant attempting to justify the issues. The points raised primarily related to other approvals which were not within proximity to the subject site or were in contextually different circumstances. Some nearby examples of flat roofs were also provided however these were old developments approved under different planning regulations and were considered poor examples to replicate. Accordingly, the applicant's justifications for the issues were deemed inadequate and the issues remained.
- On 29 September 2017, Council's Consultant Planner was notified of an internal meeting that was held including Council's Senior Development Assessment Officer, Coordinator Development Assessment, Manager Development Assessment, and the Director of City Planning. The outcome of the meeting was that the issues raised in the additional information request dated 18 August 2017 were agreed with, and required amendments to the design. Direction was provided to the Consultant Planner that the issues could be resolved via conditions of consent.
- On 10 October 2017, Council's Consultant Planner sent Council a Draft Assessment Report for the application.
- On 17 October 2017, Council's Consultant Planner received a phone call from Council's Senior Development Assessment Officer advising that a meeting had been held including Council's Senior Development Assessment Officer, Manager Development Services, Director of City Futures, and the Applicant. It is understood that the Applicant raised concern with the draft conditions of consent relating to the requirements for amendments to the rear addition to introduce a skillion roof and

provide additional windows and setback required for the garage. The Applicant reiterated the points of justification which were previously provided to the Consultant Planner. These points of justification relied on other developments in the LGA which had flat roofs or similar attributes to the proposal. A particular approval was stressed by the applicant as precedent for the proposal being a rear addition at 122 Croydon Road, Bexley.

Council's Consultant Planner was informed that the result of the meeting was that Council's Senior Managers were generally satisfied with the Applicant's justification. In particular, they were satisfied with the streetscape presentation of the proposed flat roof of the rear addition and that the presentation of the western elevation to Hutchinson Street required only a minor amendment being to widen the window to 1m. Council's Managers remained unsatisfied with the proposed nil street setback to the garage and reaffirmed the requirement for an 800mm setback.

- On 17 October 2017, Council's Consultant Planner was provided with the examples of other developments used by the applicant to justify the streetscape issues with the proposal. The examples provided were the same that were previously provided and reviewed on 11 September 2017, as discussed above. Upon reassessment of these examples, Council's Consultant Planner remained unsatisfied with the non-compliant streetscape presentation of the proposal and non-compliant nil street setback for the garage. On 18 October 2017, the Assessment report was amended to incorporate these circumstances and was sent to Council.

The Proposal

The proposal is for alterations and additions to an existing single storey brick dwelling house to create a five-bedroom dwelling, single storey for the existing portion at the front, and two storeys for a new addition at the rear. The key details of the proposed works are as follows:

- Demolition of the existing single garage and removal of the existing single width driveway crossing and layback to Hutchinson Street;
- Removal of four existing palm trees located within the rear yard;
- Construction of a two-storey rear addition including an open plan kitchen, dining and living area on the ground floor and two bedrooms, a study and a water closet on the first floor;
- Construction of an attached double garage integrated into the original portion of the dwelling along with a new double width driveway crossing and layback to Hutchinson;
- Addition to the front side of the existing portion of the dwelling to create an extra bedroom;
- Internal alterations to the existing portion of the dwelling;
- Construction of a rear deck adjacent to the new living area. The deck is to include a barbeque area, with a small area of lawn adjacent.

The key development statistics are outlined in the following table.

Site area	379.4sqm
Site dimensions	<ul style="list-style-type: none"> • Frontage Churchill Street: 11.81m • Secondary frontage Hutchinson Street: 29.805m • Average length: 31.75m
Gross floor area	178.66sqm
Floor space ratio	0.47:1
Building height	6.6m
Bedrooms	5
Private open space	65sqm
Car Parking spaces	2

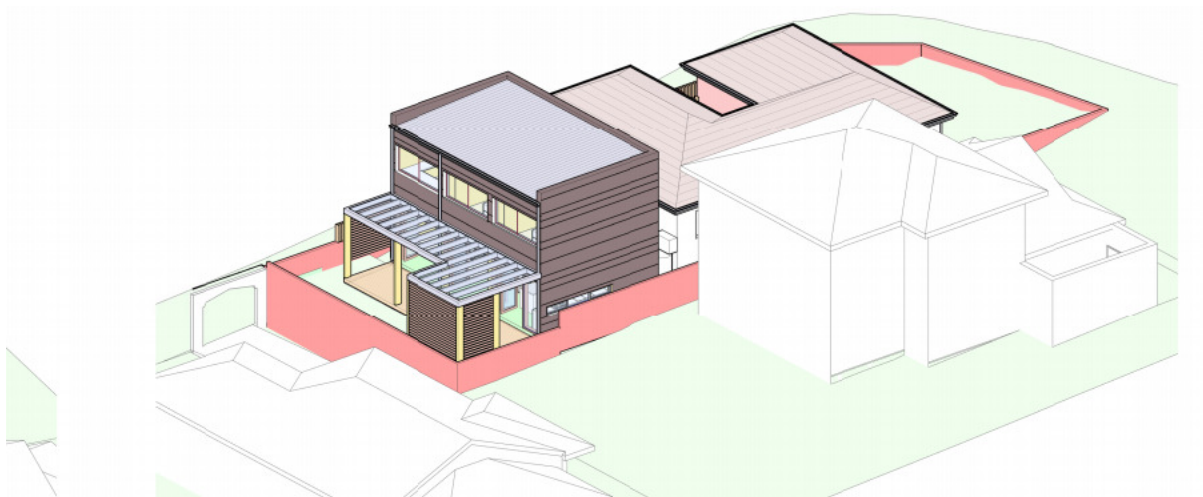
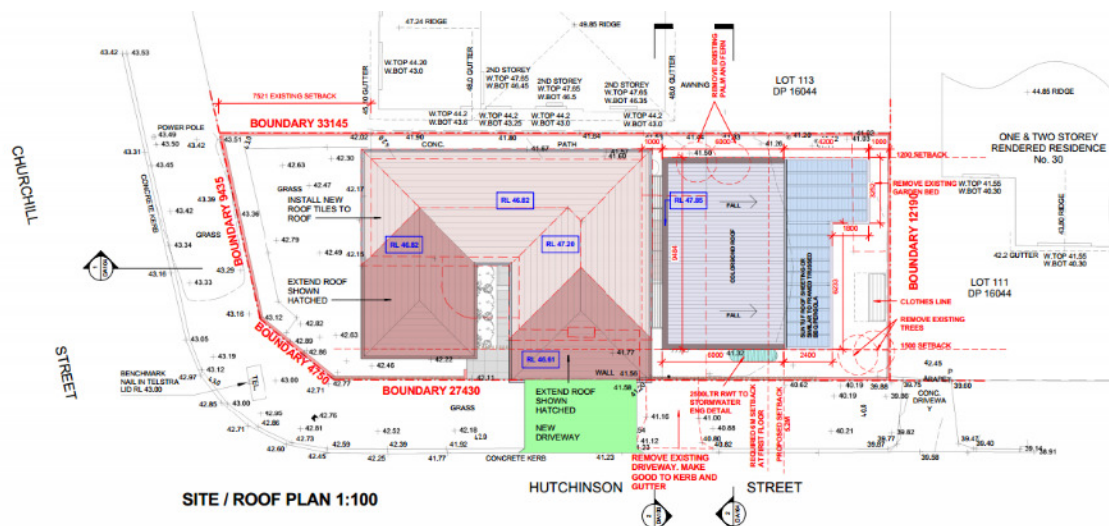


Figure 1. Perspective
(Source: MKA, 2017)



Figure 2. West Elevation Streetscape
(Source: MKA, 2017)



Site location and context

Subject site

The subject site is addressed as 47 Churchill Street, Bardwell Park and comprises a single allotment legally described as Lot 112 in Deposited Plan 16044. The site is located on the corner of Churchill Street (primary frontage) and Hutchinson Street (secondary frontage). The site is generally rectangular in shape with a width of 12.19m, average length of 31.75m, and an area of 379.4m². The site falls to the rear and toward Hutchinson Street. The rear of the site appears to have been filled as there is a retaining wall extending across the rear boundary that is approximately 1m in height. The fall across the site is approximately 3.62m and there is a steep drop in the south-western corner adjacent to Hutchinson Street.

Existing improvements on the site consist of a single-storey red brick dwelling house with a pitched and hipped tiled roof (**Figure 5 & 6**) and an attached single garage to the rear. Other site improvements consist of a paved patio and garden bed in the rear yard. Vehicular access is provided via a single concrete driveway crossing and layback to Hutchinson Street located towards the rear of the Hutchinson Street frontage. The driveway directly accesses the garage.

As identified on the submitted Survey Plan, the site contains four trees which appear to be Palms of approximately 4-6m in height and are located within the rear yard. There are also some shrubs located within the front setback.

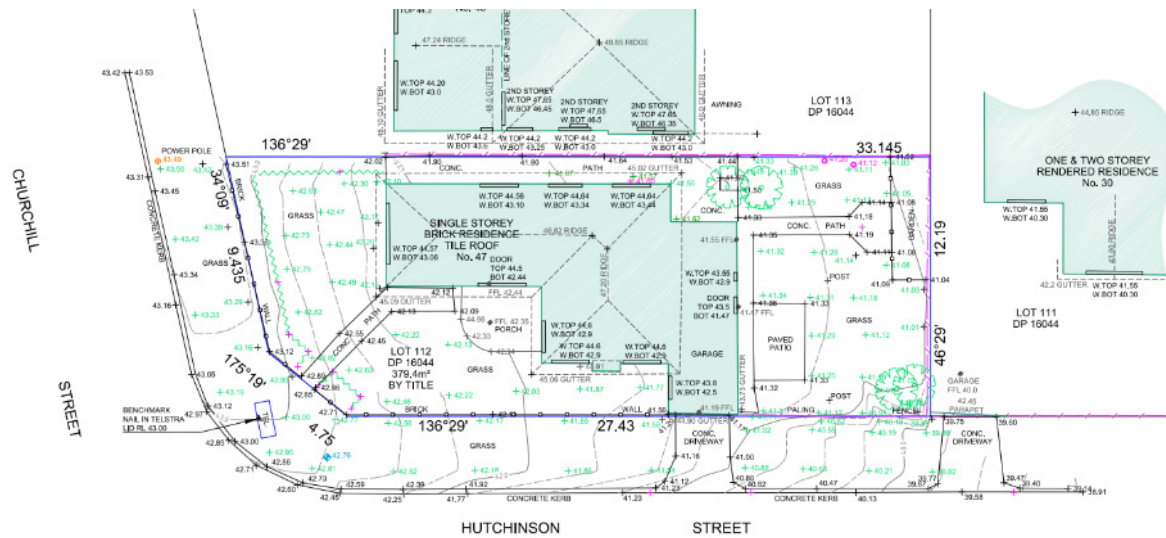


Figure 4. Survey Plan
(Source: Geocapture, 2017)



Figure 5. Subject site as viewed from the intersection of Churchill Street and Hutchinson Street
(Source: CPS, 2017)



*Figure 6. Subject site as viewed from Hutchinson Street
(Source: CPS, 2017)*

Adjoining properties

The adjoining property to the eastern side of the site, 45 Churchill Street, contains a one and two storey rendered brick dwelling house with a pitched metal roof (**Figure 7**). The adjoining property to the southern rear of the site, 30 Hutchinson Street, contains a one and two storey rendered brick dwelling house with a pitched tiled roof (**Figure 8**).



*Figure 7. 45 Churchill Street adjoining property to the eastern side of the site
(Source: CPS, 2017)*



Figure 8. 30 Hutchinson Street adjoining property to southern rear of the site
(Source: CPS, 2017)

Local area

The subject site is located within a low density residential area that is characterised by traditional single storey red brick dwellings with pitched and hipped tiled roofs (**Figure 9, 10 & 11**). There are some new dwellings in the area or additions to existing dwellings which have been generally designed to be sympathetic to the traditional red brick dwellings in the area, including in proportion and roof styles. There are few examples of out-of-character dwellings and additions in the area which were not approved under current planning controls. These are mostly not prominent in the street due to their location towards the rear of sites.



Figure 9. Aerial image of the subject site and surrounds
(Source: maps.six.nsw.gov.au)



Figure 10. Hutchinson Street opposite the site and the proposed addition
(Source: CPS, 2017)



Figure 11. Churchill Street looking west
(Source: CPS, 2017)

Statutory Considerations

Environmental Planning and Assessment Act, 1979

An assessment of the application has been undertaken in accordance with the matters for consideration under section 79C(1) of the *Environmental Planning and Assessment Act, 1979*.

S.79C(1) – Matters for Consideration - General

S.79C(1)(a)(i) – Provisions of Environmental Planning Instruments

The following Environmental Planning Instruments are relevant to this application:

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

The proposed development includes BASIX affected buildings and therefore requires assessment against the provisions of this SEPP and BASIX certification. A BASIX certificate has been submitted with the DA in accordance with the provisions of this SEPP. The BASIX certificate demonstrates the proposal complies with the relevant sustainability targets and will implement those measures required by the certificate.

In this regard, the proposal satisfies the provision and objectives of this SEPP.

State Environmental Planning Policy No 55 – Remediation of Land

In accordance with clause 7 of SEPP 55, a consent authority must consider whether the land is contaminated before providing consent to the carrying out of any development on the land.

In accordance with the Planning Guidelines SEPP 55 – Remediation of Land, prepared by Department of Urban Affairs and Planning in 1998, the history of land use needs to be considered as an indicator of potential contamination. Where there is no reason to suspect contamination after acting substantially in accordance with these guidelines, the proposal may be processed in the usual way. Table 1 on page 12 of the guidelines lists activities that may cause contamination.

In this regard, the suggested checklist for evaluation contained in the guidelines are addressed as follows:

- The subject site is currently zoned for residential purposes, that is R2 Low Density Residential, as per the *Rockdale Local Environmental Plan 2011* (RLEP 2011);
- Prior to the gazettal of the RLEP 2011 the subject site was also zoned for residential purposes;
- The proposal seeks to continue using the land for residential purposes;
- Adjoining properties are similarly zoned for residential purposes;
- A review of aerial imagery and a site inspection revealed that there is no evidence to suggest that the site or any adjoining sites have previously been used for any of the commercial, industrial, or agricultural activities as detailed in Table 1 of the guidelines; and,
- There are no known clean-up notices or licences issued by the Environmental Protection Authority that apply to the site.

Given the above, there is no evidence to suggest that the land is contaminated or unsuitable for the proposed development, and as such no further investigation is considered to be warranted.

Accordingly, the proposal is satisfactory with regard to the provisions of SEPP 55.

Rockdale Local Environmental Plan 2011

The following are the relevant clauses from the RLEP 2011 that have been taken into consideration in the assessment.

Relevant clauses	Compliance with standard/provision
2.3 Zone R2 Low Density Residential	Yes – see discussion
2.7 Demolition requires consent	Yes – see discussion
4.3 Height of buildings	Yes – see discussion
4.4 Floor space ratio - Residential zones	Yes – see discussion
5.9 Preservation of trees or vegetation	Yes – see discussion
5.10 Heritage conservation	Yes – see discussion
6.1 Acid Sulfate Soils	Yes – see discussion
6.2 Earthworks	Yes – see discussion
6.7 Storm water	Yes – see discussion
6.12 Essential services	Yes – see discussion

2.3 Zone objectives and Land Use Table

The subject site is zoned R2 – Low Density Residential under the provisions of the RLEP 2011. The proposed development is characterised as a 'dwelling house' which is a land use that is permitted with consent in the zone.

The proposal is considered to be consistent with the objectives of the zone. Below are the objectives and an assessment of the proposal against each objective:

- *To provide for the housing needs of the community within a low density residential environment.*

Comment: The proposal is consistent with this objective as it provides for the housing needs of the community with alterations and additions to an existing dwelling house. The proposal maintains consistency with the low density environment via a development that complies with the FSR standard, and contains a reasonable 5-bedrooms.

- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*

Comment: The proposal is not inconsistent with this objective as it does not impede the ability of the zone to accommodate facilities or services to meet the day to day needs of residents.

- *To ensure that land uses are carried out in a context and setting that minimises any impact on the character and amenity of the area.*

Comment: Subject to the imposition of the recommended conditions of consent, the proposal will be consistent with this objective as the development will be generally consistent with the relevant planning controls, which seek to minimise impacts on the character and amenity of the area.

Accordingly, the proposal is considered satisfactory with regards to permissibility and zone objectives, subject to the amendments outlined within the draft conditions of consent – see further discussion on the suggested draft conditions under the RDCP2011 assessment later in this report.

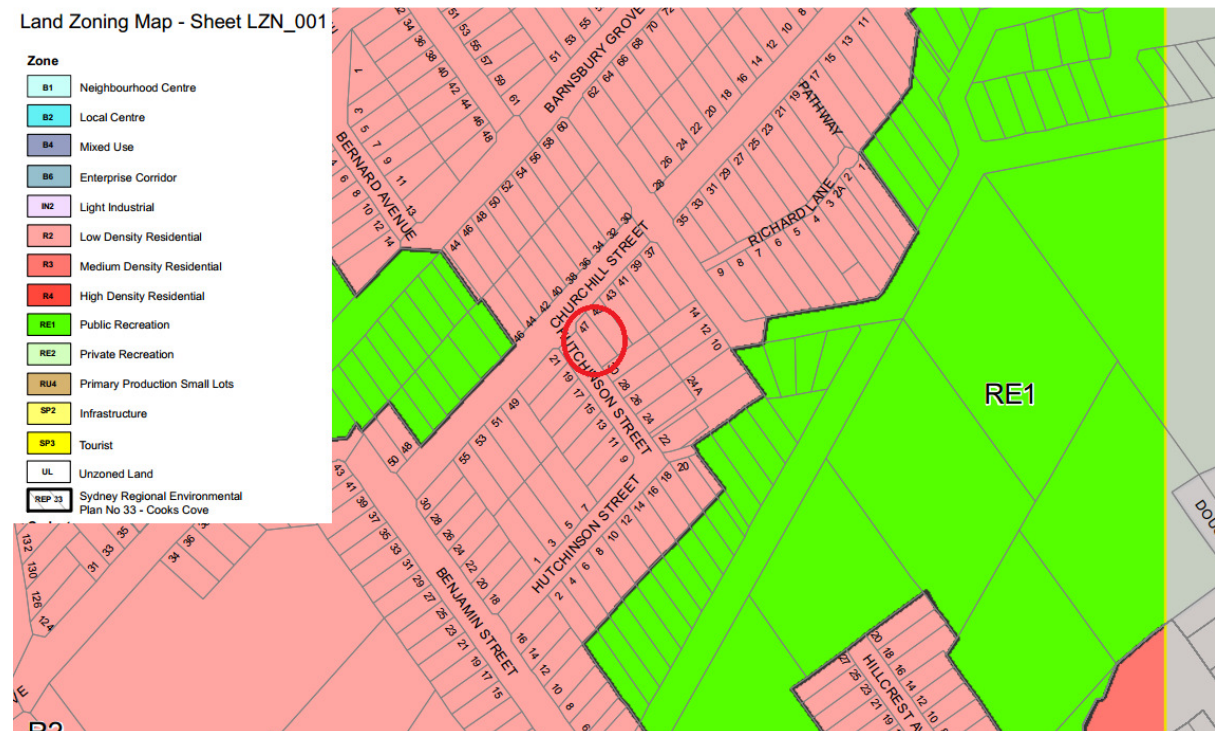


Figure 12. Zoning map extract with the subject site outlined in yellow in the R2 zone
(Source: legislation.nsw.gov.au / Edited: CPS)

2.7 Demolition requires consent

The subject development application seeks consent for the demolition of portions of the existing dwelling house as part of the alterations and additions in accordance with the requirements of this clause.

4.3 Height of buildings

Clause 4.3 provides an 8.5 metre maximum for the height of buildings on the subject site. The maximum height of the proposed building is 6.6m, which occurs in the western rear corner of the proposed rear addition. The relevant levels utilised to determine the height are as follows:

- Top of parapet RL: 47.85m
- Lowest Existing Ground Level (EGL) beneath parapet RL: 41.25m

The proposal complies with the development standard and therefore satisfies this clause.

4.4 Floor space ratio

Clause 4.4 provides a maximum floor space ratio (FSR) on the subject site of 0.5:1.

The development has been calculated to have a gross floor area of 178.86sqm which equates to a compliant FSR of 0.47:1.

5.9 Preservation of trees or vegetation

Clause 5.9 requires consent or a permit to be obtained before removing, injuring or destroying any vegetation.

The proposal seeks to remove four existing trees on site. Council's Tree Management Officer has reviewed the proposal and raised no objection subject to conditions. The Tree Management Officer made the following comments:

- *Existing site trees located within the vicinity of the proposed rear addition may be removed subject to at least one replacement tree being planted; and,*
- *All other site trees are to be retained and protected.*

Given the above, the proposal is considered to satisfy this clause.

5.10 Heritage conservation

The subject site does not contain any heritage items nor is it within a heritage conservation area.

The site is within the vicinity and visual catchment of an item of local heritage No. 1165 Stotts Reserve, 167 Slade Road. This reserve is on the opposite side of Churchill Street to the site, approximately 100m to the south-west.

Given the proposal is for a relatively minor addition to a dwelling house, that will not affect views to or the prominence of the park, there is not considered to be any heritage impact. As such, the proposal is considered to satisfy Clause 5.10.

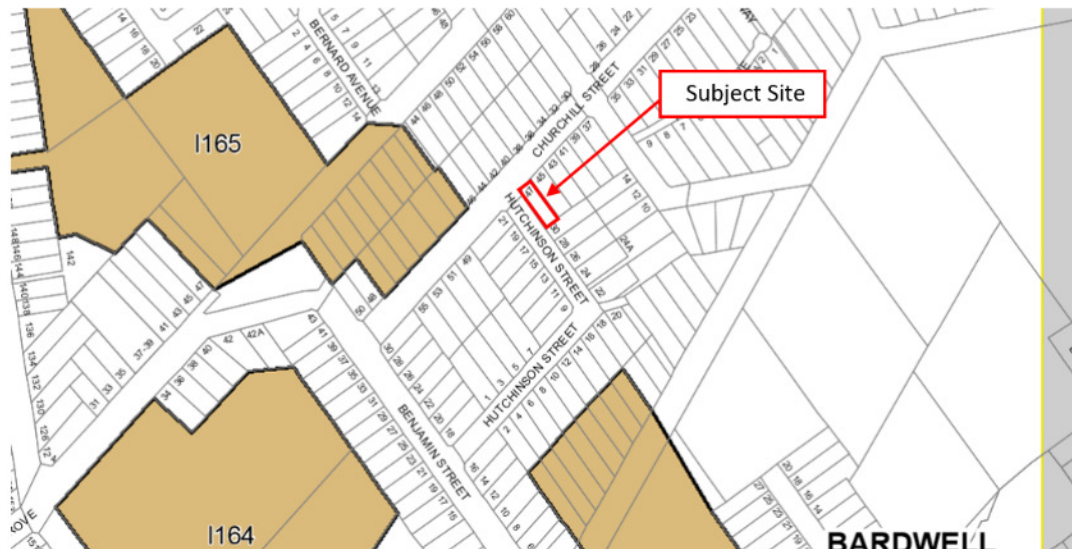


Figure 13. Heritage map extract with the subject site outlined in red
 (Source: legislation.nsw.gov.au / Edited: CPS)

6.1 Acid Sulfate Soils

In accordance with the RLEP 2011, the subject site is identified as (potentially) containing Class 5 Acid Sulfate Soils (ASS).

For any works within 500 metres of adjacent Class 1, 2, 3 or 4 land that is below 5 metres Australian Height Datum and by which the watertable is likely to be lowered below 1 metre Australian Height Datum on adjacent Class 1, 2, 3 or 4 land, an acid sulfate soils management plan is required.

Given the development involves minimal excavation, and is not within 500m of Class 1, 2, 3 or 4 land, it does not appear the proposal would involve works by which the watertable is likely to be lowered more than 1 metre below the natural ground surface. The proposal is therefore considered to satisfy this clause.

6.2 Earthworks

The proposal seeks consent for earthworks which are primarily related to creating a level platform for the rear addition and levelling a portion of the rear yard which drops away to Hutchinson Street.

The proposal has generally worked with the topography of the site, which slopes to the rear. The level of the ground floor of the rear addition has been stepped down relative to the main portion of the dwelling, which has resulted in a minimisation of earthworks required.

Levelling through fill is proposed across portions of the rear yard which is considered acceptable as it will not lead to any significant adverse impacts on adjoining properties or the streetscape and will allow for improved amenity for the dwelling.

It is considered that the level of excavation proposed has been minimised as far as practical, and earthworks are generally away from the boundaries. Subject to standard conditions of consent to mitigate the potential environmental impacts associated with

excavation works, the proposed earthworks are acceptable and satisfy the requirements of this clause.

6.7 Stormwater

Stormwater drainage concept plans, prepared by John Romanous & Associates (dated 09 May 2017) were submitted with the application. These plans have been reviewed by Council's Development Engineer who raised no objection subject to conditions of consent. Accordingly, the proposed stormwater management is considered to satisfy this clause.

6.12 Essential Services

Given the existing residential use of the site, and the details provided on the Survey Plan, it is understood that connection to essential services is available.

Accordingly, the proposal is considered to satisfy this clause.

S.79C(1)(a)(ii) – Provisions of any Draft EPI's

No draft environmental planning instruments have been identified as being applicable to the proposed development.

S79C(1)(a)(iii) – Provisions of any Development Control Plan

The following development control plan applies to the proposed development:

Rockdale Development Control Plan 2011

A summary of the compliance assessment against the *Rockdale Development Control Plan 2011* (RDCP2011) for the proposed development is provided below. Detailed discussions are provided for non-complying aspects and key merit based assessments of the proposal.

Relevant Parts of the RDCP 2011	Compliance with standard/provision
4.1.1 Views and Vista	Yes
4.1.2 Heritage Conservation	Yes – see discussion under RLEP CI 5.10
4.1.3 Water Management	Yes
4.1.4 Soil Management	Yes
4.1.5 Contaminated Land	Yes – see discussion under SEPP 55.
4.1.6 Development on sloping sites	Yes
4.1.7 Tree Preservation	Yes
4.1.8 Biodiversity	Yes
4.1.9 Lot size and Site Consolidation	Yes
4.2 Streetscape and Site Context	No – see discussion

Relevant Parts of the RDCP 2011	Compliance with standard/provision
4.3.1 Open Space and Landscape Design	Yes
4.3.2 Private Open Space	No – see discussion
4.4.1 Energy Efficiency	Yes
4.4.2 Solar Access	Yes
4.4.3 Natural Lighting and Ventilation	Yes
4.4.4 Glazing	Yes
4.4.5 Visual privacy	Yes – see discussion
4.4.6 Noise impact	Yes
4.5.1 Housing Diversity and Choice	Yes
4.5.2 Social Equity – Equitable Access	Yes
4.6 Car Parking, Access and Movement	Yes
4.7 Site facilities	Yes
5.1 Building Types	No – see discussion

Part 4.2 – Streetscape and Site Context / Part 5.1 – Building Types

The RDCP2011 contains a range of objectives and controls to ensure that new developments are compatible with the desirable characteristics of localities. Some examples of these controls applicable to the proposal are as follows:

Part 4.2 ‘Streetscape and Site Context’ of the RDCP 2011 states the following:

Control 1 – The building design and use of materials, roof pitch and architectural features and styles must have regard to those of surrounding buildings to ensure a cohesive streetscape.

Control 6 – Buildings on corner sites are to be articulated to address each street frontage and are to define prominent corners.

Part 5.1 ‘Low and Medium Density Residential’ of the RDCP 2011 states the following:

Control 1 – Development must comply with the height and setback requirements specified in the following table...

- *Secondary street setback – Dwelling house – minimum 1.5m setback*

Control 6 – Building design and architectural style is to interpret and respond to the positive character of the locality, including the dominant patterns, textures and compositions of buildings.

Control 8 – Large expanses of blank walls are to be avoided through the use of architectural design features, modelling and fenestration.

The relevant urban context for the subject site is considered to be the area where the development would be principally viewed from the public domain, which is referred to as the visual catchment of the development. This visual catchment would capture the streetscape along Churchill Street and Hutchinson Street as depicted in **Figure 14** below.



Figure 14. Visual catchment of the development representing the relevant urban context for the site
(Source: six.maps.nsw.gov.au / Marked by CPS, 2017)

The area within this visual catchment, and the wider locality, is characterised by single storey red brick dwelling houses with pitched and hipped tiled roofs. This architectural style and the proportions of the dwellings in the area including the setbacks, heights, and roof forms are consistent. The few new developments in the area, or additions to existing dwellings, have been generally designed to be sympathetic to these traditional red brick dwellings, or they are located in less prominent areas such as at the rear of sites.

As shown in **Figure 15**, this consistent architectural style and built form is particularly evident on the western side of Hutchinson Street, directly opposite the subject site and the location of the proposed 2-storey rear addition. This is considered to be the portion of the visual catchment where the proposed development will be most visible and prominent. The reason for the prominence and visibility of the rear addition is its location at the rear fronting to Hutchinson Street, the corner location of the site, and the site's position at the top of a crest. This site prominence is demonstrated within **Figure 16**.



Figure 15. Hutchinson Street opposite the site and the proposed addition.
(Source: CPS, 2017)



Figure 16. The site as viewed from the Hutchinson Street streetscape. The site is highly prominent at the top of the crest on a corner. As a result, the proposed 2-storey rear addition will be a highly prominent addition to the streetscape and as such a sensitive design approach is imperative.
(Source: google.maps.com.au / Marked by CPS, 2017)

The proposed two-storey rear addition has been assessed having regards to the aforementioned characteristics of the surrounding area and the streetscape. The rear addition presents a hard-edged contemporary development with metal cladding finishes and a flat parapet roof. When viewed from Hutchinson Street, the development will present as a square metal box that will be highly prominent and unsympathetic to the streetscape.

Particular concern is raised over the west / Hutchinson Street elevation which presents a flat square two-storey facade with metal cladding and is setback only 1.5m from Hutchinson Street. A further issue with the streetscape presentation of the development to Hutchinson Street is the new double garage which is proposed to be built with a nil setback to the street boundary. Together with the unsympathetic rear addition, this will dominate the frontage and poorly integrate with the street (this garage setback is non-compliant which is discussed below). The presentation of the rear addition and garage is illustrated in **Figure 22** below.

As discussed under the background section of this report, the issues with the streetscape appearance of the development were raised in a request for additional information dated 18 August 2017. In response to the request, no amendments were made to the design, instead the applicant attempted to justify the design and nil garage setback to the street by citing examples of other developments in the Local Government Area. Below are the examples that were provided as well as a comment on each:



Figure 17. 1 Hutchinson Street, Bardwell Park – Example development provided by applicant to justify non-compliant streetscape presentation of proposal
(Source: MKA, 2017)

Comment: This development is a large two storey dwelling with a flat roof which was not approved under the current planning controls. This development is not considered to be compatible with the streetscape and as such should not be replicated.



Figure 18. 9 Hutchinson Street, Bardwell Park – Example development provided by applicant to justify non-compliant streetscape presentation of proposal
(Source: MKA, 2017)

Comment: This development is a large single storey dwelling with a flat roof which was not approved under the current planning controls. This development provides roof eaves and large expanses of windows to the street which is considered to be more consistent with the streetscape than the proposal. This development is not considered similar to the proposal which is a contemporary rear addition attached to a traditional red brick dwelling.



Figure 19. 16 Hutchinson Street, Bardwell Park – Example development provided by applicant to justify non-compliant streetscape presentation of proposal
(Source: MKA, 2017)

Comment: This development is a first floor addition located at the rear of the site and was not approved under the current planning controls. This addition is not prominent in the street as it is not located on a corner nor at the crest of a hill unlike the subject site. Furthermore, the addition is small and has materials and finishes which match the original dwelling.

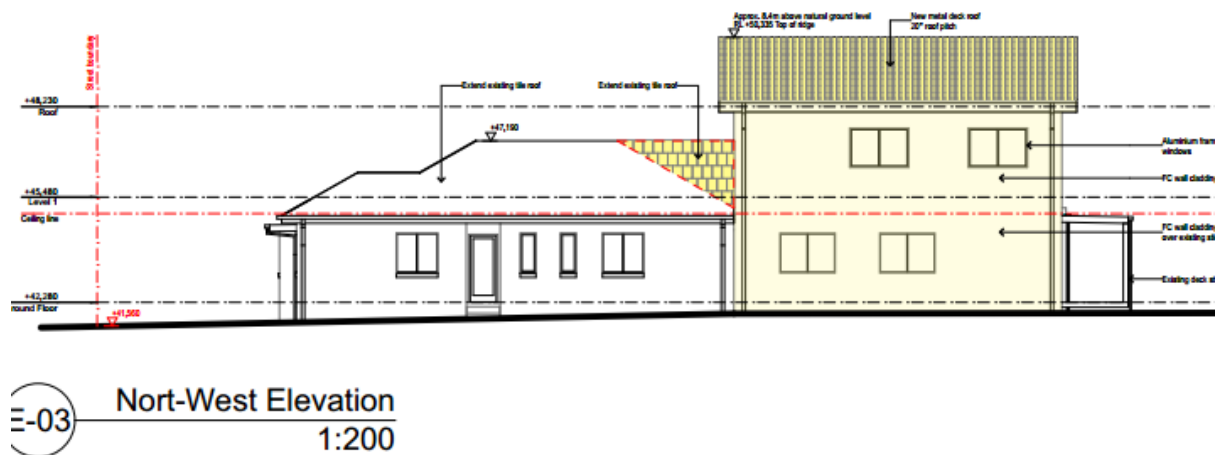


Figure 20. 37 Benjamin Street, Bexley North – Example development provided by applicant to justify non-compliant streetscape presentation of proposal
(Source: MKA, 2017)

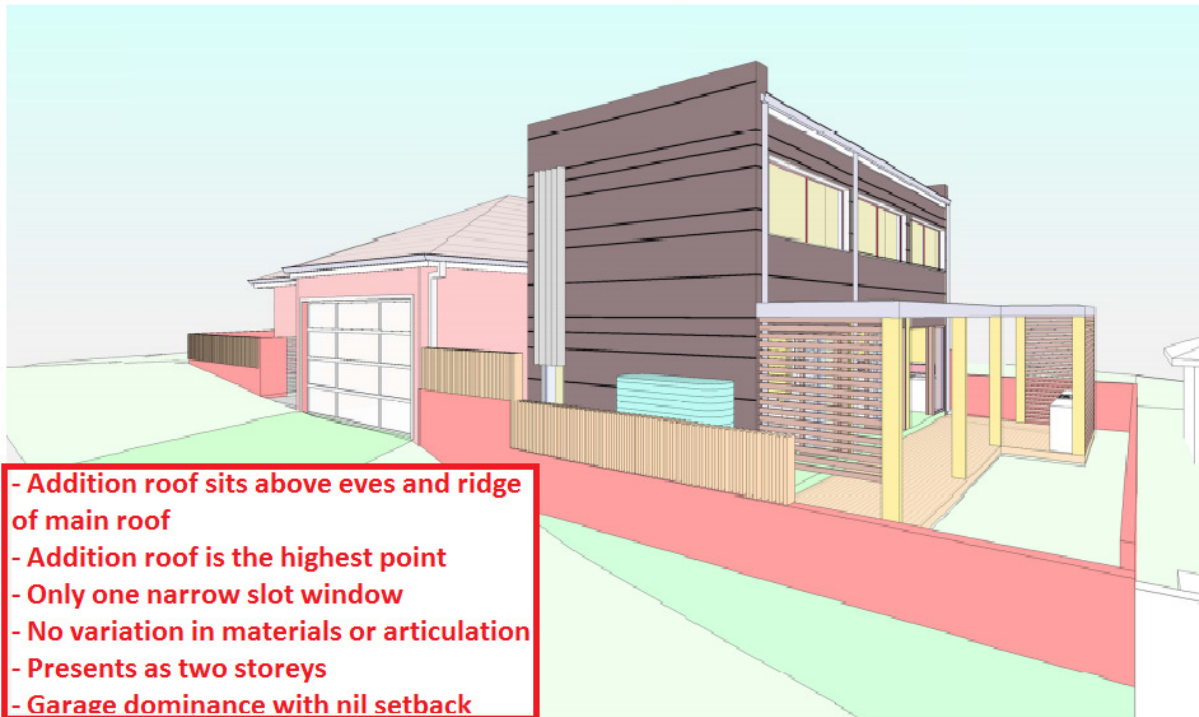
Comment: This development is a two storey rear addition located at the rear of the site. The addition has a pitched roof with gabled ends and windows across the elevations which is consistent with the original portion of the dwelling and the surrounding area.

APPROVAL - 122 CROYDON RD, BEXLEY



- Addition roof aligns with eaves
- Roof sits well under height of existing pitched roof
- Horizontal window and timber cladding for visual interest
- Presents as single storey to street

PROPOSED - TWO STOREY REAR ADDITION



- Addition roof sits above eaves and ridge of main roof
- Addition roof is the highest point
- Only one narrow slot window
- No variation in materials or articulation
- Presents as two storeys
- Garage dominance with nil setback

Figure 21. 122 Croydon Road, Bexley – Comparison of proposal against the example development provided by applicant to justify non-compliant streetscape presentation of proposal (Source: MKA, 2017)

Comment: Of the examples provided by the applicant, this development is the only one which shares some similar characteristics and context to the proposal, being a contemporary rear addition to a traditional red brick dwelling located on a prominent corner site. Whilst there are these similarities, there are some important differences which make this development significantly more sympathetic to the streetscape.

As demonstrated in **Figure 21**, this development is less prominent than the proposal as the height only extends as high as the eaves of the original portion of the dwelling and presents largely as a single storey structure as the lower level sits well below the ground floor of the original and is screened by side fencing. The proposal has a flat roof which is higher than the ridge of the original dwelling and clearly presents as two storeys.

Furthermore, the street elevation of this development provides a long horizontal window and timber feature cladding which breaks up the expanse of the wall and presents well to the street. The proposal provides a blank metal wall to Hutchinson Street with only a single narrow vertical window which is screened on the façade. This largely blank metal façade along with the proposed double garage with a nil setback to Hutchinson Street is unacceptable in regards to streetscape presentation.

It is important to note that no concerns are raised around the contemporary style of the proposed rear addition, rather it is the box form with flat parapet roof presentation and minimal fenestration or articulation to the Hutchinson Street elevation that is of concern.

Given the above non-compliance in relation to streetscape presentation, conditions of consent are recommended to resolve the issues. It is recommended that the flat parapet roof be replaced with a skillion roof which will introduce a pitched roof and eaves. This is considered to be more sympathetic to the traditional pitched roofs in the area than the proposed flat parapet roof. Furthermore, it is recommended that the western street elevation be amended to include additional windows to the ground and first floor which will serve to soften and break up the uninterrupted mass of the wall.

In relation to the garage, a setback of 1.5m to Hutchinson Street is required under Part 5.1 of the RDCP 2011. The proposed double garage provides a nil setback to the street which is not acceptable as it will dominate the frontage and detract from the streetscape in this prominent location. As a result, a condition is recommended to set back the garage 800mm from the boundary. This will serve to better integrate the garage into the building and thereby reduce its dominance in the street. The plans have been reviewed, and an 800mm setback is achievable with only minimal internal changes required by relocating a small laundry and watercloset.

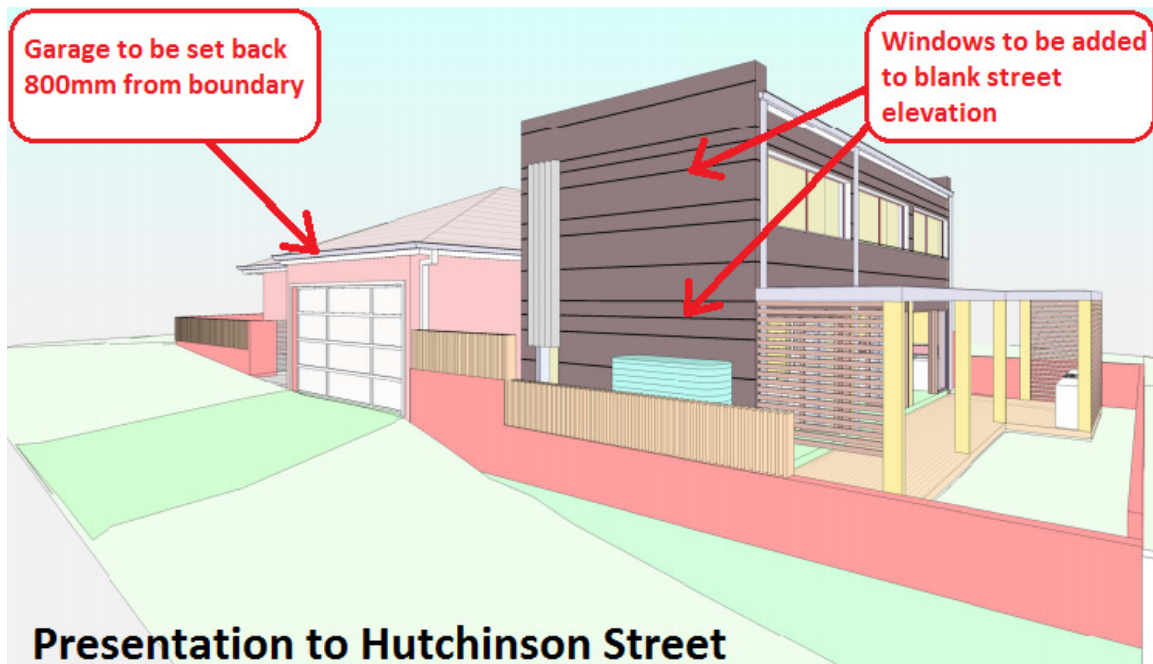


Figure 22. Marked Hutchinson Street Perspective indicating design improvements which were required to be made via the original recommended conditions.
(Source: MKA, 2017 marked by CPS, 2017)

Given the above, the following conditions are recommended:

Prior to the issue of a Construction Certificate, to ensure the rear addition is sympathetic to the traditional red-brick dwellings in the area, the following design changes are required:

- *The flat parapet roof of the rear addition is to be replaced with a skillion roof with eaves, a minimum slope of 5 degrees, and is to slope down to the southern/rear of the site. The highest point of the roof must be no higher than RL 50.05 to remain under the 8.5m height limit applicable for the site; and,*
- *A window to the western street elevation of the rear addition is to be added to both the ground floor living area and the first-floor study room to soften the western elevation.*

Prior to the issue of a Construction Certificate, the Hutchinson Street setback of the garage is to be increased to a minimum of 800mm.

4.3.2 Private Open Space

Control 1 – Each dwelling must be provided with a minimum private open space area as specified in the following table:

- *Dwelling with GFA greater than 125m² – minimum 80m² POS with minimum width of 3m*

The proposal includes 65sqm of private open space which does not comply with the 80sqm requirement.

This non-compliance is considered acceptable for the following reasons:

- The private open space provided is considered to be of high amenity and function. This is because it will receive 3 hours of direct morning sunlight in mid-winter and the entire area is useable, being a wide decked area with a levelled lawn adjacent;
- The private open space includes a deck with sufficient width at 2.4m for a table and chairs and a barbeque area with an increased width of 4.2m. This area combined with the adjacent levelled lawn will provide for a range of private outdoor activities; and,
- Adjacent to the rear deck is a large open plan living area which opens out to the deck via full height and width glazed folding doors. Given the high level of connectivity between the spaces, the living area will act as an extension to the private open space thereby creating additional area.

4.4.5 Visual and Acoustic Privacy

Control 1 – The windows of a habitable room with a direct sightline to the windows of a habitable room of an adjacent dwelling and located within 9.0m:

- a. are sufficiently off-set to preclude views into the windows of the adjacent building; or*
- b. have sill heights of 1.7m above floor level; or*
- c. have fixed obscure glazing in any part of the window below 1.7m above floor level*

Control 2 – Balconies, terraces, rooftop recreation areas and the like should be located to minimise overlooking of an adjoining property's open space or windows. Techniques such as recessing, screens or landscaping may be used to prevent direct views into habitable rooms or private open space of adjacent dwellings.

The development achieves compliance with Control 1 as none of the proposed habitable windows have views within 9m to habitable windows of adjacent buildings.

The development will not result in any significant adverse privacy impacts on neighbouring properties as no side facing windows are proposed at first floor level, and any raised areas at the ground floor are appropriately located or screened.

As demonstrated in **Figure 23** and **Figure 24** views from the proposed rear deck, which will be raised up to 300mm above the existing ground level, will not impact the privacy of neighbours. The views will primarily be oriented to the front yards of the dwellings to the south fronting Hutchinson Street, and given slope of the street will only overlook the rooftops of these dwellings. The highest raised portion of the deck being the BBQ area includes privacy screens to the south and west which will prevent views to rear yard of 45 Churchill Street.

In relation to the first floor of the rear addition, this only includes bedrooms and no side facing windows. The views from the bedrooms will only overlook the front yards and rooftops of the dwellings to the south fronting Hutchinson Street. This visual field is illustrated in **Figure 25**.

Given the above, the proposal is considered compliant in terms of the privacy of adjoining properties.

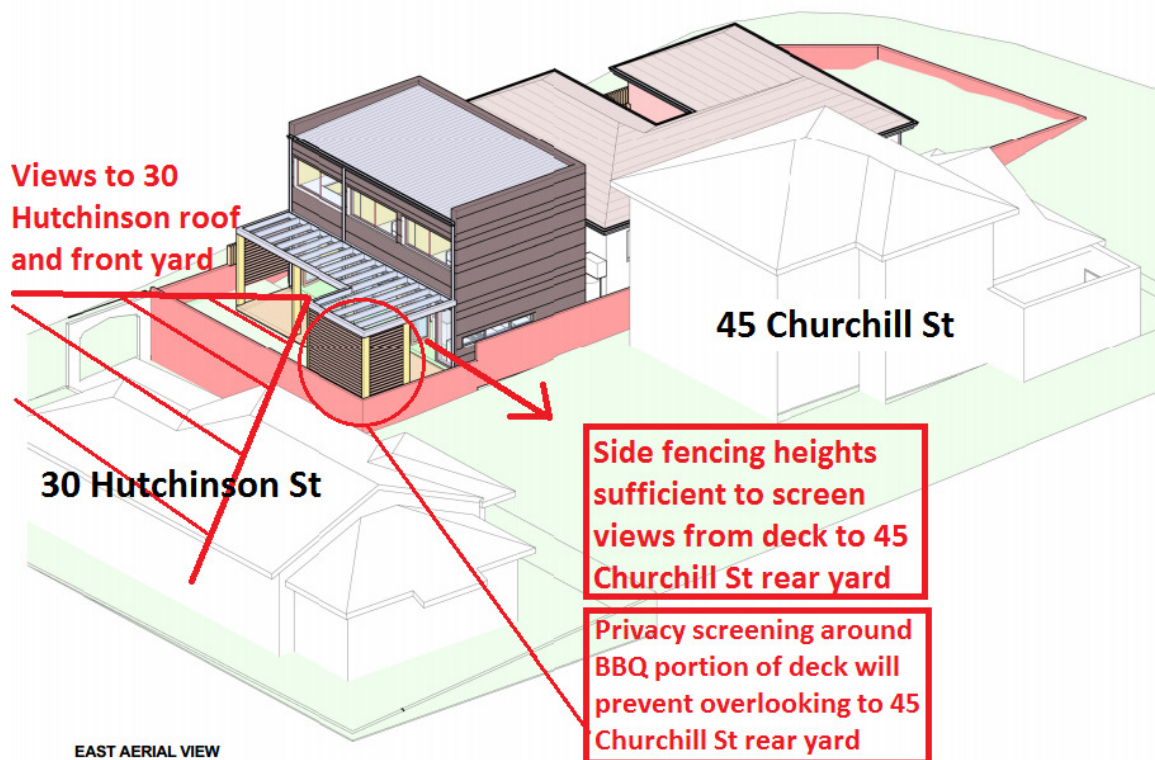


Figure 23. Marked East Perspective demonstrating that there will be no privacy issue from the rear deck.
(Source: MKA, 2017 marked by CPS, 2017)



Figure 24. Photograph from the existing rear yard of the site in the approximate location of level of the proposed rear deck demonstrating the views which will not impact privacy of neighbours.
(Source: CPS, 2017)

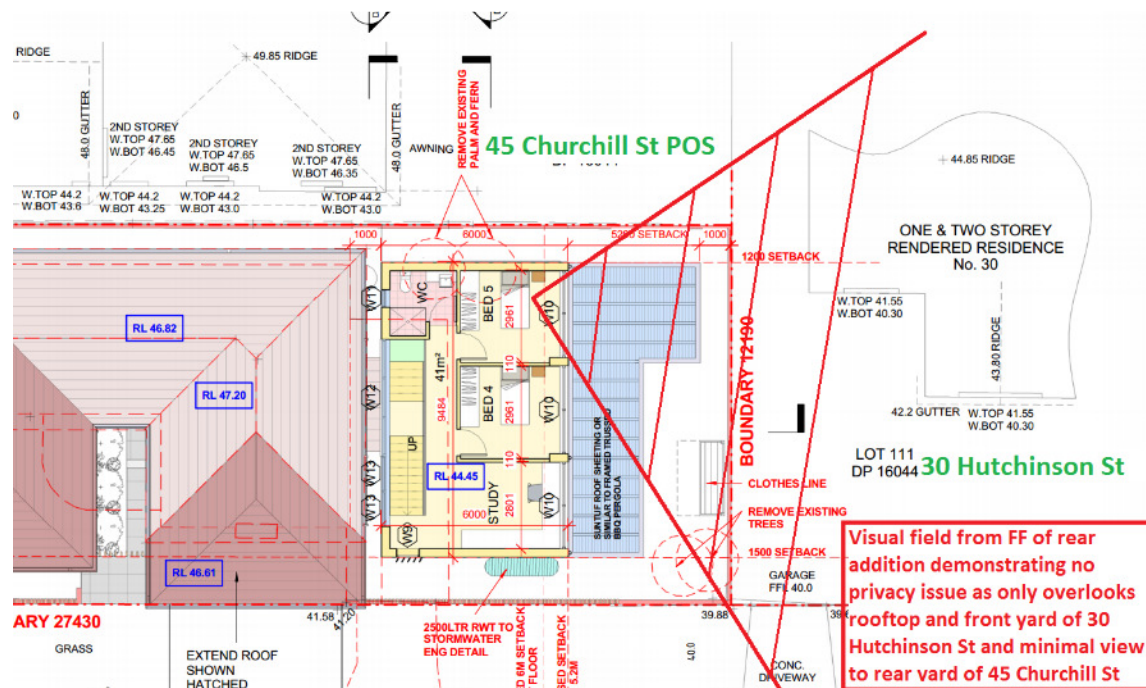


Figure 25. Marked First Floor Plan demonstrating that there will be no privacy issue from the first floor.
(Source: MKA, 2017 marked by CPS, 2017)

Part 5.1 – Building Types

Control 1 – Development must comply with the height and setback requirements specified in the following table...

- *Rear setback – Dwelling house – minimum 3m for ground floor of a two storey building / minimum 6m for first floor of a two storey building.*
- *Secondary street setback – Dwelling house – minimum 1.5m setback*

The proposed two-storey rear addition has a first floor rear setback of 5.2m, which does not comply with the 6m requirement. Furthermore, the proposed new double garage has a nil setback to Hutchinson Street which does not comply with the 1.5m requirement. In relation to the secondary street setback garage non-compliance, this is discussed under the streetscape section above and it is recommended a greater setback be imposed via a condition of consent.

The first floor rear setback non-compliance is considered acceptable for the following reasons:

- The 800mm non-compliance for the first floor is minor and will not lead to any adverse impacts on neighbours as the proposal complies with adjoining solar access provisions and privacy provisions;

- The reduced rear setback will result in the building being slightly closer to the properties to the rear, however the additional shadow will only fall on the front yard and roof of adjoining properties and not the private open space or living areas;
- In terms of privacy implications, the first floor only contains bedrooms which will not facilitate any close or direct views to neighbouring habitable windows or private open space as demonstrated in **Figure 25** above; and,
- The development provides a rear setback of 5.2m for the ground and first floor, where only 3m is required for the ground floor. The rear setback is considered to be an improved planning outcome to that of a compliant envelope with rear setbacks of 3m at the ground floor and 6m at the first floor. This is because a compliant building envelope would result in a larger bulkier structure, and insufficient area at ground level to provide a high quality private open space at the rear.

S.79C(1)(a)(iv) – Provisions of regulations

The development is satisfactory with regards to the provisions of the regulations.

S.79C(1)(b) – Likely Impacts of Development

The likely environmental impacts of the proposed development have been assessed comprehensively throughout the preceding sections of this report. These impacts are generally minor in nature and have been determined to be consistent with the relevant planning controls which apply to the development. Accordingly, the proposal is considered acceptable with regards to environmental impacts, subject to the recommended conditions of consent.

S.79C(1)(c) – Suitability of the site

The subject site has been identified as being suitable for residential development with considerations of access to services and absence of any evidence indicating land contamination. Furthermore, the site is considered to have an appropriate area and dimensions to accommodate the type and scale of buildings proposed.

S.79C(1)(d) – Submissions

The development has been notified in accordance with the provisions of the RDCP2011. Notification of the application occurred between 25 May 2017 and 9 June 2017. In response, no submissions were received.

Amended architectural plans were submitted and were re-notified between 13 July 2017 and 28 July 2017. In response, no submissions were received.

S.79C(1)(e) – Public interest

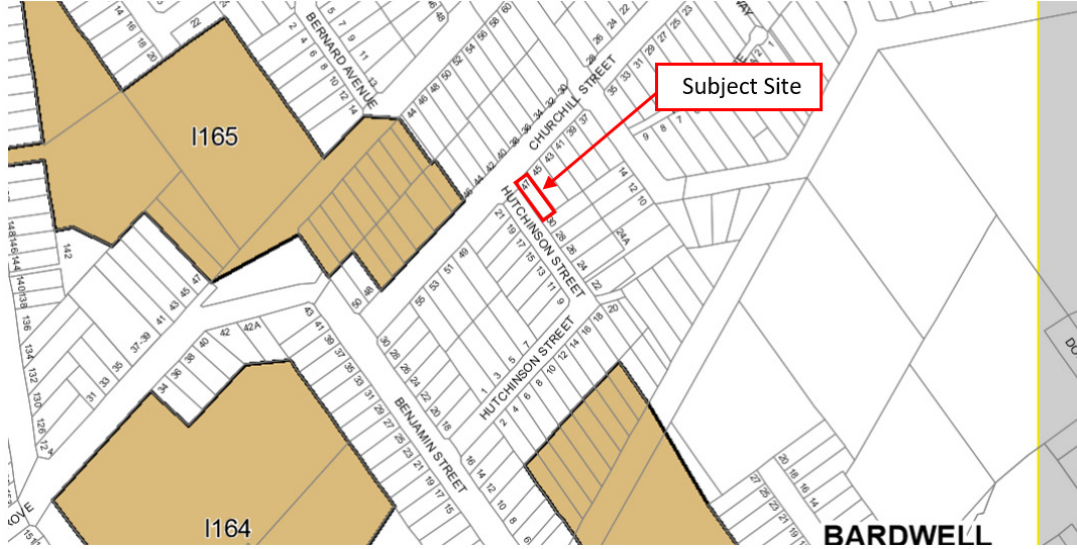
The proposed development is considered to be in the public interest because it is general consistent with the provisions of the relevant planning instruments being the RLEP2011 and the RDCP2011.

COMPLIANCE ASSESSMENT

47 Churchill Street, Bardwell Park

DA No:	DA-2017/353
Dates:	Lodged: 15 May 2017 Amended plans dated: July 2017
Address:	47 Churchill Street, Bardwell Park
Proposal:	Alterations and additions to a dwelling house including a two-storey rear addition, new front fence, and new garage.
Constraints Identified:	<ul style="list-style-type: none"> • Acid Sulfate Soils: Class 5 • Located within 100m of Heritage Item: <ul style="list-style-type: none"> ◦ I165 Stotts Reserve, 167 Slade Road, Local Heritage
Zoning	R2 – Low Density Residential

Rockdale LEP 2011	Proposal	Compliance
4.3(2) Height of buildings <ul style="list-style-type: none"> • 8.5m 	<p style="text-align: center;">6.6m</p> <ul style="list-style-type: none"> • Parapet RL: 47.85m • Lowest EGL below: RL 41.25m <p>Maximum height occurs at the south-eastern corner of the proposed rear addition.</p>	Yes
4.4(2) Floor space ratio <ul style="list-style-type: none"> • 0.5:1 	<p style="text-align: center;">0.47:1</p> <ul style="list-style-type: none"> • Ground Floor: 130.18sqm • First Floor: 48.68sqm • Gross Floor Area: 178.86sqm • Site Area: 379.4sqm (title) 	Yes
5.9 Preservation of Trees or Vegetation	The proposal includes the removal of four palm trees located with the existing rear yard. Council's Tree Management Officer has reviewed the proposal and raised no objection to the proposed tree removal subject to conditions requiring replacement plantings and standard tree protection conditions.	Yes – Subject to conditions
5.10 Heritage Conservation	<p>No heritage item is located on subject site.</p> <p>The site is within the vicinity and visual catchment of an item of local heritage no. I165 Stotts Reserve, 167 Slade Road. This reserve is on the opposite side of Churchill Street to the site approximately 100m to the south-west.</p>	Yes

Rockdale LEP 2011	Proposal	Compliance
	<p>Given the proposal is for a relatively minor addition to a dwelling house that will not affect views to or the prominence of the park, there is not considered to be any heritage impact. As such, the proposal is considered to satisfy Clause 5.10.</p>	
		
<p>6.1 Acid Sulfate Soils</p>	<p>The subject site is affected by Class 5 Acid sulphate soils. Clause 6.1 states for Class 5.</p> <p><i>Works within 500m of adjacent Class 1, 2, 3 or 4 land that is below 5m AHD and by which the water table is likely to be lowered below 1m AHD on adjacent Class 1, 2, 3 or 4 land</i></p> <p>Given the development involves minimal excavation, and is not within 500m of Class 1, 2, 3 or 4 land, it does not appear the proposal would involve works by which the watertable is likely to be lowered more than 1 metre below the natural ground surface.</p>	<p>Yes</p>
<p>6.2 Earthworks</p>	<p>The proposal has generally worked with the topography of the site which slopes significantly to the rear. The ground floor level of the rear addition has been stepped down relative to the main portion of the dwelling which has resulted in a minimisation of earthworks required.</p> <p>Levelling through fill is proposed across portions of the rear yard which is considered acceptable as it will not lead to any significant adverse impacts on adjoining properties or the streetscape</p>	<p>Yes</p>

Rockdale LEP 2011	Proposal	Compliance
	and will allow for improved amenity for the dwelling.	
6.6 Flood Planning	The site is not identified as flood prone on the LEP flood maps.	N/A
6.7 Storm water	Storm water plans were submitted with the subject development application and referred to Council's Development Engineer for review. No objections were raised subject to standard conditions of consent.	Yes – Subject to condition

Rockdale DCP 2011	Proposal	Compliance
Part 4 – General Principles for Development		
Part 4.1 – Site Planning		
Part 4.1.1 – Views & Vistas		
– Development must consider any significant views to, from and across site.	There are not considered to be any significant views to, from or across the site.	N/A
– Development must retain existing views to Botany Bay.	There are no views to Botany Bay across the subject site.	N/A
– Development on highly visible sites to complement character of area.	Site is not considered highly visible in the context of district and regional view corridors.	N/A
– View corridors to landmarks and significant heritage items to be protected.	The development is in the vicinity of Stotts Reserve which is a heritage item. The proposal will not impact views to the item or have any impact on the heritage values of the item.	Yes
– Views from public spaces to the bay and districts to be preserved.	As above, there are no views across the site to the bay and districts.	N/A
– Roof forms on low side of street to be well articulated to allow public views.	As above, there are not considered to be any significant views to, from or across the site.	N/A
– Building forms enable sharing of views with surrounding residences	As above, there are not considered to be any significant views to, from or across the site.	N/A
Part 4.1.2 – Heritage Conservation		
– Heritage impact statement required for development of heritage items.	Subject site does not contain a heritage item.	N/A
– Heritage impact statement may be required for development within vicinity of heritage item.	Subject site is within the vicinity of a heritage item however the impact on the item is considered insignificant and a heritage report would not be warranted.	Yes
Development in the vicinity of Heritage Items		

Rockdale DCP 2011	Proposal	Compliance
<ul style="list-style-type: none"> Any proposed development located adjacent to or nearby a heritage item must not have an adverse impact on the heritage item including its setting and curtilage 	<p>The subject site is located within proximity and the visual catchment of the following heritage item:</p> <ul style="list-style-type: none"> 1165 Stotts Reserve, 167 Slade Road, Local Heritage <p>The site is within the vicinity and visual catchment of an item of local heritage no. 1165 Stotts Reserve, 167 Slade Road. This reserve is opposite the site approximately 100m away. Given the proposal is for a relatively minor built form addition that will not affect views to or the prominence of the park, there is not considered to be any heritage impact.</p>	Yes
<ul style="list-style-type: none"> Development adjacent to a heritage item must be designed: <ul style="list-style-type: none"> To be of a similar scale to the heritage item To pay attention to design elements Where new development is proposed adjacent to a heritage item in a street of buildings similar to the heritage item, new development must maintained historic streetscape pattern. 	See above.	Yes
Part 4.1.3 – Water Management		
<ul style="list-style-type: none"> Storm water Management <ul style="list-style-type: none"> Development to comply with Councils Technical Specs. WSUD to be incorporated into design of stormwater drainage. 	<p>Section 2.8 of Councils Stormwater Management Technical Specs applies to the proposed development.</p> <p>Councils Development Engineer has reviewed the proposal and provides no objection subject to conditions of consent.</p> <p>Councils Development Engineer has reviewed the proposal and provides no objection subject to conditions of consent.</p>	<p>Yes</p> <p>Yes</p>
<ul style="list-style-type: none"> Flood Risk Management <ul style="list-style-type: none"> Development to comply with Councils Flood Management Policy. 	Pursuant to the Rockdale LEP 2011, the subject site is not identified as being located in a Flood Planning Area.	N/A
<ul style="list-style-type: none"> Water Conservation <ul style="list-style-type: none"> Residential development to be BASIX Compliant Water efficient appliance must meet minimum WELS Scheme Standards 	<p>A compliant BASIX certificate was submitted with the application.</p> <p>Water efficient appliances are covered within the submitted BASIX certificate.</p>	<p>Yes</p> <p>Yes</p>
<ul style="list-style-type: none"> Water Quality 		

Rockdale DCP 2011	Proposal	Compliance
<ul style="list-style-type: none"> Measures to control pollutants in stormwater discharge from development sites. 	Councils Development Engineer has reviewed the proposal and provides no objection subject to conditions of consent.	Yes – Subject to condition
<ul style="list-style-type: none"> Runoff to waterways/bushland to be treated. 	Subject site is not located adjacent to any waterways or bushlands.	Yes
<ul style="list-style-type: none"> Groundwater protection <ul style="list-style-type: none"> Operating practices and technology must be employed to prevent contamination of groundwater Development which has potential risk to groundwater must submit a geotechnical report. Certain development in areas subject to Botany Sands Aquifer may be considered Integrated Development. 	<p>Development works will be done in accordance with the submitted Erosion and Sedimentation Control Plan.</p> <p>Only minor excavation works are proposed that does not pose any significant risk to groundwater. No geotechnical report was submitted which is acceptable.</p> <p>The proposal includes only minor excavation works which are high unlikely to intercept groundwater.</p>	<p>Yes – Subject to condition</p> <p>Yes</p> <p>Yes</p>
Part 4.1.4 – Soil Management		
<ul style="list-style-type: none"> Development must minimise soil loss Erosion and Sediment control plan required where development involves site disturbance. Development is to minimise site disturbance. 	<p>Submitted Erosion and Sedimentation Control Plan supports the minimisation of the loss of soil and soil disturbance.</p> <p>Development works will the Erosion and Sediment Control Plan</p> <p>Site disturbance has been minimised as far as practical.</p>	<p>Yes – Subject to condition</p> <p>Yes – Subject to condition</p> <p>Yes</p>
Part 4.1.5 – Contaminated Land		
<ul style="list-style-type: none"> Development on land that is likely to have contamination must follow State Environmental Planning Policy 55 – Remediation of Land. 	The site is currently and has previously been used for residential purposes. There is no information available to suggest that the site may be contaminated.	Yes – Subject to condition
Part 4.1.6 Development on Sloping Sites		
<ul style="list-style-type: none"> Deep Soil Areas <ul style="list-style-type: none"> Building footprint designed to minimise cut and fill Any habitable room of dwelling must have at least one external wall entirely above existing ground level. 	<p>The site slopes to the rear and to the southern frontage to Hutchinson Street. The floor level provided to the rear addition steps down with the slope of the land and is considered to have minimised earthworks requirements.</p> <p>All habitable areas are above ground level existing.</p>	<p>Yes</p> <p>Yes</p>
4.1.7 Tree Preservation		

Rockdale DCP 2011	Proposal	Compliance
<ul style="list-style-type: none"> - Council consent required to undertake tree work for a tree that is: <ul style="list-style-type: none"> o More than 3m tall or o Has a circumference in excess of 300mm at a height of 1m above ground - Existing significant trees and vegetation are to be incorporated into proposed landscaping - Building setbacks are to preserve existing significant trees and vegetation and allow for new planting. 	<p>Consent for tree removal forms part of this DA. Council's Tree Officer has reviewed the application and raised no issues with regards to tree removal.</p> <p>No existing significant trees to be retained.</p> <p>As above.</p>	<p>Yes</p> <p>N/A</p> <p>N/A</p>
4.1.8 Biodiversity		
<ul style="list-style-type: none"> - Development is to be sited and designed to minimise impact on indigenous flora and fauna. - Indigenous species planting is encouraged - Development abutting bushland, creeklines or wetland areas is to utilise local indigenous plant species - Statement of Flora/Flora Impact required for development in or adjacent to bushland or wetlands - Species Impact Statement required where development is to occur adjacent to threatened species or endangered ecological communities. 	<p>The land or surrounding area is not identified as biodiversity land in the Rockdale LEP 2011 maps.</p> <p>The application has been reviewed by Council's Tree Officer who has raised no objection, subject to recommended conditions for replacement plantings.</p> <p>The subject site does not abut biodiversity land.</p> <p>Subject site is not adjacent to any bushlands or vegetation.</p> <p>Subject site is not adjacent to land identified as containing threatened species or EEC.</p>	<p>N/A</p> <p>Yes</p> <p>N/A</p> <p>N/A</p> <p>N/A</p>
4.1.9 Lot Size and Site Consolidation		
<ul style="list-style-type: none"> • Lot Size and Minimum Site Frontage 		
<ul style="list-style-type: none"> • Low and medium density residential <ul style="list-style-type: none"> - Dwelling house minimum lot size 450sqm and minimum width of 15m at front building line. However dwelling house may be erected on parcel existing prior to 1973. • Avoidance of Isolated Sites <ul style="list-style-type: none"> - Adjoining parcels must be capable of being economically developed 	<p>The proposal is for alterations and additions to an existing dwelling house and no subdivision is proposed.</p> <p>The proposal does not seek to amalgamate lots and does not unreasonably impact the development potential of neighbours due to general compliance with the key planning controls.</p>	<p>N/A</p> <p>Yes</p>

Rockdale DCP 2011	Proposal	Compliance
– Development of existing isolated sites is not to detract from the character of the streetscape.	The site is part of a consistent subdivision and development pattern and is therefore not considered an isolated lot.	N/A
4.2 Streetscape and Site Context		
<ul style="list-style-type: none"> - Development is to respond and sensitively relate to the broader urban context including topography, block patterns and subdivision, street alignments, landscape, views and the patterns of development within the area 	<p>The proposal is considered to be out of character with the local area. The local area is characterised by brick construction and pitched tiled roofs. The proposal presents as a metal box in a prominent raised corner location, forward of the front setback line along Hutchinson Street. The addition will be a jarring and an incompatible element in the streetscape.</p> <p>To resolve this issue, Council has recommended conditions be imposed to introduce variation and softer materials to the rear addition and replace the flat parapet roof with a skillion roof design which will be more sympathetic to the traditional pitched roofs which characterise the area.</p>	No – To be conditioned
<ul style="list-style-type: none"> - Development adjoining land use zone boundaries should provide a transition in form. 	Site does not adjoin zone boundary.	N/A
<ul style="list-style-type: none"> - Buildings addressing or bordering public open space must relate positively to it. 	Proposed development does not adjoin any public parks or reserves.	N/A
<ul style="list-style-type: none"> - Cohesive streetscape must be created through building design and materials. 	As above.	No – To be conditioned
<ul style="list-style-type: none"> - Consistent building setbacks from the street boundary. 	Compliant front and secondary street setbacks provided with the exception of the garage.	Yes
<ul style="list-style-type: none"> - Buildings on corner sites are to address each frontage. 	As above. The proposed rear addition portion of the development is not considered to appropriately address the secondary frontage. It presents a largely blank metal clad wall with no articulation.	No – To be conditioned
<ul style="list-style-type: none"> - Access to garages should not require major cut and fill. 	Proposed relocated garage will not require major cut and fill.	Yes
<ul style="list-style-type: none"> - First floor additions for streets of predominately single storey dwellings shall: <ul style="list-style-type: none"> o Locate addition at rear and/or o Incorporate addition into the existing roof space and/or o Use similar proportion if existing windows and doors in new work. 	Proposal locates the two storey addition at the rear of the existing dwelling.	Yes
<ul style="list-style-type: none"> - Garages and carports are not permitted in front setback 	Proposed garage is within the secondary setback which is acceptable.	Yes
<ul style="list-style-type: none"> • Pedestrian Environment 		

Rockdale DCP 2011	Proposal	Compliance
- Residential buildings must address the street	Proposal addresses the street with roof form and windows.	Yes
- Buildings adjacent to public area must have at least one habitable room window overlooking public area, to provide casual surveillance.	Does not adjoin a public area apart from the street. Windows provided to front elevation overlooking the street.	Yes
- Pedestrian and cycle thoroughfares are safe routes through: <ul style="list-style-type: none"> ○ Appropriate lighting ○ Casual surveillance from the street ○ Minimised opportunities for concealment ○ Landscaping which allows clear sight-lines between buildings and the street ○ Avoidance of blind corners. 	The proposal will be adequately lit to ensure pedestrian movement in and through the site is safer.	Yes
	Blind corners are avoided.	Yes
- Clearly defined public, common, semi-private and private space	The proposal clearly defines public, common, semi-private and private space.	Yes
- Discrete vehicle entries with minimal pedestrian conflict	The proposed driveway is a typical dwelling house driveway which will have minimal pedestrian conflict.	Yes
- Development it to take advantage of rear lane access to sites, where possible.	No rear access lane to the site.	N/A
• Fencing		
- Sandstone fences and walls to be retained and repaired (if necessary)	No sand stone fence present at the subject site.	N/A
- Front fences/walls to enable surveillance of street	New front fence is masonry construction for the base and open style above which will allow for surveillance of the street.	Yes
-		
- Front fences are to be maximum 1.2m above footpath level	New front fence height varies due to the sloping site however the majority of the fence will have a height of approximately 1.2m and the fence is appropriately stepped with the topography of the land.	Yes
• Sandstone Walling, Rock Outcrops and Kerbing		
- Excavation of sandstone or rock outcrops for the purpose of providing a garage is not permitted where:	Subject site does not exhibit any sandstone or rock outcrops.	N/A
- The rocky outcrop forms a significant part of the streetscape and character of the locality; or		
- Adequate on street parking is available; or		
- Alternative access to a site is available.		

Rockdale DCP 2011	Proposal	Compliance
- Where excavation of rock outcrop is considered acceptable for provision of off-street car parking, garage entry is to utilise sandstone, stone coloured mortar and a recessive coloured door.	As above	N/A
4.3 Landscape Planning and Design		
4.3.1 Open Space and Landscape Design		
- Must comply with Council's Technical Specifications	Council's Tree Officer has raised no objection to the proposed landscaping on site.	Yes
- Landscape Plan submitted and prepared by qualified Landscape Architect	Landscape Plan not required to be provided for alteration and additions to a dwelling house.	N/A
- Significant trees and natural features incorporated into design	No trees to be retained.	N/A
- Min Landscape area – low and medium density residential = 25%	132sqm or 35% of the site will be landscaped area.	Yes
4.3.2 Private Open Space		
• Dwelling with GFA greater than 125sqm – 80sqm POS minimum width 3m.	<p>The proposal has a GFA greater than 125sqm (178sqm).</p> <p>The proposal provides private open space in the form of a rear deck and adjoining turfed backyard which has a total area of 65sqm with a minimum width of 5.2m. The area does not comply with the minimum 80sqm required.</p>	No – Acceptable
4.3.3 Communal Open Space		
<ul style="list-style-type: none"> - A primary communal open space area must be provided for use by all resident of: - Multi dwelling housing >12 dwellings - RFB with >12 dwellings 	N/A – COS not required for dwelling houses.	N/A
4.4 Sustainable Building Design		
4.4.1 Energy Efficiency		
<ul style="list-style-type: none"> - Residential <ul style="list-style-type: none"> o BASIX certificate submitted 	BASIX certificate submitted.	Yes
<ul style="list-style-type: none"> - Retail, commercial and industrial development <ul style="list-style-type: none"> o A report on energy and water efficiency is to be submitted with the development application for any building works with a construction cost of \$1,000,000 or more. The report must address the following: 	N/A – dwelling house proposed.	Yes

Rockdale DCP 2011	Proposal	Compliance
4.4.2 Solar Access		
<ul style="list-style-type: none"> - Development must be designed and sited to minimise the extent of shadows that it casts on <ul style="list-style-type: none"> o private and communal open space within the development; o private and communal open space of adjoining dwellings; o public open space such as parkland and bushland reserves; o solar collectors of adjoining development; and o habitable rooms within the development and in adjoining developments. 	The development is sited appropriately such that the majority of shadows will fall onto Hutchinson Street.	Yes
<ul style="list-style-type: none"> - Development to provide good solar access to internal and external living spaces. 	The proposal provides good solar access to internal and external living spaces.	Yes
<ul style="list-style-type: none"> - Buildings must be sited and designed to reduce overshadowing 	As above.	Yes
<ul style="list-style-type: none"> - Development must have adequate solar access: <ul style="list-style-type: none"> ▪ Dwellings within the development site and adjoining properties should receive a minimum of 3 hours direct sunlight in habitable rooms and in at least 50% of the private open space between 9am and 3pm in mid winter 	The submitted shadow diagrams indicate that the living room and private open space of the proposal, as well as adjoining living rooms and private open space areas, will receive a minimum of 3 hours direct sunlight between 9am and 3pm in mid-winter.	Yes
<ul style="list-style-type: none"> - Shadow diagrams required for DA of any building two or more storeys 	Shadow diagrams have been provided for the proposed two storey addition.	Yes
<ul style="list-style-type: none"> - Shadow diagrams should provide information relating to the effect of the proposed development at 9am, 12pm and 3pm on: <ul style="list-style-type: none"> - 21 June (mid-winter) - 21 December (mid-summer) and - 21 March/September (equinox) - Where a significant level of overshadowing occurs, elevational shadow diagrams are to be submitted. 	Satisfactory shadow diagrams have been provided.	Yes
4.4.3 Natural Lighting and Ventilation		
<ul style="list-style-type: none"> - Minimum 2.7m ceiling height for habitable residential 	2.7m ceiling heights	Yes
<ul style="list-style-type: none"> - Minimum 2.4m ceiling height for non-habitable space 	2.7m ceiling heights	Yes
<ul style="list-style-type: none"> - Designed to maximise opportunities for cross flow ventilation. 	Openings on all elevations will facilitate cross ventilation.	Yes

Rockdale DCP 2011	Proposal	Compliance
– Openable windows which can control airflow must be installed	Openable windows proposed.	Yes
4.4.4 Glazing		
– Areas of glazing are located to avoid energy loss and unwanted energy gain	BASIX certificate provided that deals with the sustainability of the development.	Yes
– Development provides appropriate sun protection during summer for glazed areas facing north, west and east.	As above.	Yes
4.4.5 Visual and Acoustic Privacy		
<ul style="list-style-type: none"> – Windows of habitable rooms with a direct sightline to the windows of a habitable room of an adjacent dwelling and located within 9.0m: <ul style="list-style-type: none"> ○ Are to be sufficiently off-set to preclude views into the or ○ have sill heights of 1.7m above floor level; or ○ have fixed obscure glazing in any part of the window below 1.7m above floor level. – Balconies, terraces, rooftop recreation areas etc are to minimise overlooking – Use of roof top area for recreational purposes is permissible subject to: <ul style="list-style-type: none"> – Internal stair access – Usable area of roof must be set back at least 1.5m from building edge – Planters/privacy screens must be utilised to protect visual and acoustic amenity of neighbouring properties • Acoustic Privacy <ul style="list-style-type: none"> – Driveways, open space and recreation areas must minimise noise impacts – Bedrooms of one dwelling should not share walls with living rooms or garages of adjacent dwellings. – Party walls must be carried to the underside of the roof – AAAC Acoustical Star Rating of 5 for all except dwelling houses – Acoustic Report to be submitted confirming the standards have been met 	<p>Living area and rear balcony overlook the front setback areas of dwellings to the east along Hutchinson Street which is acceptable. The balcony is screened to the north-eastern corner to prevent views to the rear yards of adjoining dwellings which is acceptable.</p> <p>As above.</p> <p>No roof top recreational areas proposed.</p> <p>Noise impacts are considered to be appropriately minimised.</p> <p>No shared walls.</p> <p>No party walls.</p>	<p>Yes</p> <p>N/A</p> <p>N/A</p> <p>Yes</p> <p>N/A</p> <p>N/A</p>

Rockdale DCP 2011	Proposal	Compliance
<ul style="list-style-type: none"> Attached dwellings and multi-unit development's internal layouts should consider acoustic privacy by locating circulation spaces and non-habitable rooms adjacent to party walls 		
4.4.6 Noise Impact		
<ul style="list-style-type: none"> Development must comply with the Australian Standard 2021 – 2000 acoustic – aircraft noise. 	The site is not within ANEF contours.	N/A
<ul style="list-style-type: none"> Mitigation measures must be BASIX compliant 	No mitigation measures required or proposed.	N/A
<ul style="list-style-type: none"> Non-residential development is not to adversely affect the amenity of adjacent residential development as a result of noise, hours of operation and/or service deliveries. 	Proposal is a residential development.	N/A
<ul style="list-style-type: none"> External walls to be constructed with material with good sound insulating quality 	External walls to be constructed in accordance with the BCA.	Yes
<ul style="list-style-type: none"> The building plan, walls, windows, doors and roof are to be designed to reduce intrusive noise levels. 	Proposal has been designed appropriately to minimise internal acoustic privacy issues.	Yes
<ul style="list-style-type: none"> Balconies and other external building elements are to minimise noise infiltration. 	As above.	Yes
<ul style="list-style-type: none"> New windows to be fitted with noise attenuating glass 	As above.	Yes
<ul style="list-style-type: none"> Design landscaping to create a buffer between new residential development and adjacent potential sources of noise. 	As above.	Yes
4.4.7 Wind Impact		
<ul style="list-style-type: none"> Buildings must be designed and proportioned to consider the wind generation effects 	The proposal is for a small scale residential alterations and additions which is not considered to have any significant wind impacts.	Yes
4.5 Social Equity		
4.5.1 Housing Diversity and Choice		
<ul style="list-style-type: none"> Multi-dwelling housing must be compliant with AS4299: 1 adaptable dwelling required for >10 dwellings 2 adaptable dwellings required for 10-30 dwellings; and 10% adaptable dwellings required for more than 30 dwellings. 	Proposal does not require adaptable housing.	N/A
4.5.2 Equitable Access		

Rockdale DCP 2011	Proposal	Compliance
<ul style="list-style-type: none"> – Access is to meet the requirements of: <ul style="list-style-type: none"> ○ Disability Discrimination Act ○ Relevant Australian Standards ○ BCA – Access Report required for DA's other than single dwellings and dual occupancies. 	<p>Access requirements do not apply to single dwellings.</p> <p>Proposal relates to a single dwelling house which does not require an access report.</p>	<p>N/A</p> <p>N/A</p>
4.6 Car Parking, Access and Movement		
<ul style="list-style-type: none"> • Retail and Commercial <ul style="list-style-type: none"> – 1 car parking space/40m² GFA for offices, – RTA Guide to Traffic Generating Developments = <ul style="list-style-type: none"> 1 spaces per 100m² for factories; 1 space per 300m² for Warehouse and; 1 space per 40m² for commercial premises. • Car Park Location and Design <ul style="list-style-type: none"> – Vehicle access points and parking areas are to be: <ul style="list-style-type: none"> ○ Easily accessible ○ Minimise traffic hazards ○ Located on secondary frontage where possible ○ Minimise loss of on-street parking, multiple driveway crossings not permitted – Car parking areas not to be visually dominant – Car parking areas must be well lit and laid out convenient to manoeuvring – Developments of four or more dwellings to be designed so that vehicles can enter and exit in forward direction – Mechanical parking systems supported subject to Council's Tech Specs – Disable parking spaces must be close to lifts – Garage doors must be integrated in building design. 	<p>Not retail or commercial.</p> <p>Council's Development Engineer has reviewed the application and raised no objection to the proposed relocated vehicle access point.</p> <p>Garage is considered visually dominant due to nil setback To resolve this issue, it is recommended conditions are imposed to introduce an 800mm setback to the garage.</p> <p>The proposed garage is considered to provide a standard manoeuvring area.</p> <p>Proposal is not for four or more dwellings.</p> <p>No mechanical parking systems proposed.</p> <p>No disabled spaces proposed.</p> <p>Garage door appropriately integrated into the building design.</p>	<p>N/A</p> <p>Yes</p> <p>No – To be conditioned</p> <p>Yes</p> <p>N/A</p> <p>N/A</p> <p>N/A</p> <p>Yes</p>

Rockdale DCP 2011	Proposal	Compliance
<ul style="list-style-type: none"> • Basement Car Parking <ul style="list-style-type: none"> – Is to be adequately ventilated – Located within the building footprint – Located fully below NGL – Designed for safe and convenient pedestrian movement. – Provided with daylight where feasible • Car Wash Facilities <ul style="list-style-type: none"> – For buildings >5 dwellings car wash facilities must be available • Pedestrian Access and Sustainable Transport <ul style="list-style-type: none"> – Separate pedestrian access should be provided – Safe and convenient pedestrian access from car parking and public areas – Provide bicycle access which does not interfere with pedestrian access – Bicycle parking to be secure and minimise pedestrian obstruction – Bicycle parking to cater to various users. – Where bicycle parking is to be provided for residents in basement, it is to be individual bicycle lockers – New development must enhance and maintain pedestrian, cycle and public transport networks. – Design initiatives promoting sustainable transport are encouraged. – Use slip resistant ground surfaces which are traversable by wheelchairs and indicate changes of grade. 	<p>No basement parking proposed.</p> <p>As above.</p> <p>As above.</p> <p>As above.</p> <p>As above.</p> <p>Proposal not for 5 or more dwellings.</p> <p>Separate pedestrian access is proposed and is legible.</p> <p>Safe and convenient pedestrian access from car parking and public area proposed.</p> <p>Bicycle parking or access not required for single dwelling house</p> <p>As above.</p> <p>As above.</p> <p>As above.</p> <p>The proposal does not impact existing networks.</p> <p>Not required for single dwelling houses.</p> <p>Development will need to comply with the BCA.</p>	<p>N/A</p> <p>N/A</p> <p>N/A</p> <p>N/A</p> <p>N/A</p> <p>N/A</p> <p>Yes</p> <p>Yes</p> <p>N/A</p> <p>N/A</p> <p>N/A</p> <p>N/A</p> <p>Yes</p> <p>N/A</p> <p>Yes – Subject to condition</p>
4.7 Site Facilities		
<ul style="list-style-type: none"> • Air Conditioning and Communication Structures <ul style="list-style-type: none"> – Ancillary structures are: <ul style="list-style-type: none"> ○ Not to be visually intrusive. ○ Located to have minimal impact on amenity of adjoining properties. 	<p>No ancillary structures are proposed.</p>	<p>N/A</p>

Rockdale DCP 2011	Proposal	Compliance
<ul style="list-style-type: none"> Do not have negative impact on architectural character of building. 		
<ul style="list-style-type: none"> For each building comprising >2 dwelling a master TV antenna/satellite dish to be provided. 	The proposal does not include 2 or more dwellings.	N/A
<ul style="list-style-type: none"> Waste Storage and Recycling Facilities 		
<ul style="list-style-type: none"> Must comply with Council's Tech Specs 	Appropriate areas available on site for waste storage and manoeuvring to kerb.	Yes
<ul style="list-style-type: none"> Provision of separate recycling and waste reuse facilities 	As above.	Yes
<ul style="list-style-type: none"> Bins must be appropriately located 	As above.	Yes
<ul style="list-style-type: none"> Must incorporate convenient access 	As above.	Yes
<ul style="list-style-type: none"> Service Lines/Cables 		
<ul style="list-style-type: none"> Internal communication cabling must be installed for telephone, internet and cable television use. 	Any applicable conditions of consent will ensure that internal communication cabling is installed.	Yes – Subject to condition
<ul style="list-style-type: none"> Laundry Facilities and Drying Areas 		
<ul style="list-style-type: none"> Laundry in each dwelling 	The proposal includes a laundry.	Yes
<ul style="list-style-type: none"> Drying areas not to be located forward of building line or in any street frontage setback 	Drying area located within rear setback	Yes
<ul style="list-style-type: none"> Drying areas in open, sunny part of site. 	Drying area within an open and sunny part of the site.	Yes
<ul style="list-style-type: none"> Each dwelling in dual occ or multi-dwelling must be provided with a clothes line with min. length of 7.5m 	Not dual occ or multi dwelling.	N/A
<ul style="list-style-type: none"> Letterboxes 		
<ul style="list-style-type: none"> Letterbox points to be integrated with building design and located in covered area 	Letter box not shown on plans. Standard Auspost requirements will apply to letter box location which will be exempt development.	N/A
<ul style="list-style-type: none"> Letterboxes to be centrally located and lockable 	As above.	N/A
<ul style="list-style-type: none"> Letterboxes are to be visible for at least some dwellings 	As above.	N/A
<ul style="list-style-type: none"> Hot Water Systems 		
<ul style="list-style-type: none"> HWS to be encased in recessed box if located on balcony. 	HWS not located on balcony.	N/A
Part 5 – Building Types		
Part 5.1 – Low and Medium Density Residential		
Storey Height		
Dwelling house & Attached dwelling		

Rockdale DCP 2011	Proposal	Compliance
- Maximum two storeys	2 storey rear addition proposed.	Yes
Setbacks		
<ul style="list-style-type: none"> • Dwelling house & attached dwelling • Street Setback <ul style="list-style-type: none"> - Must be consistent with the prevailing setbacks in the street - If there is not a consistent or established setback, a 6m setback • Secondary Street Setback <ul style="list-style-type: none"> - Min 1.5m - If fronting lane, building to address the lane as if primary frontage • Side Setback <ul style="list-style-type: none"> - min 0.9m for single storey building or ground floor of a two storey building or secondary dwelling - min 1.5m for first floor of a two storey building, except on lots with street frontages less than 15m, it may be set back a min of 1.2m - 0m between Attached Dwellings and Semi-detached Dwellings • Rear setback and rear lane setback <ul style="list-style-type: none"> - min 3m for single storey building or ground floor of a two storey building - min 6m for first floor of a two storey building, except when fronting a lane may be set back 3m - Secondary Dwelling 900mm 	<p>The existing front setback to Churchill street will be maintained which is consistent with the street. Refer above.</p> <p>Secondary street setback to Hutchinson Street varies from 1.5m to the single storey portion, nil to the garage, and 1.5m to the double storey rear addition. The garage setback does not comply. As discussed above, to resolve this issue, it is recommended conditions are imposed to introduce an 800mm setback to the garage.</p> <p>No lane frontage</p> <p>1.2m setback to the northern side boundary to ground floor and first floor. The lot is less than 15m wide and therefore this setback complies.</p> <p>As above.</p> <p>Not attached or semi-detached.</p> <p>5.2m rear setback to ground floor.</p> <p>5.2m rear setback to first floor.</p> <p>The allotment depth average is greater than 30m therefore provision for a reduced rear setback is not applicable.</p>	<p>Yes</p> <p>N/A</p> <p>No – To be conditioned</p> <p>N/A</p> <p>Yes</p> <p>Yes</p> <p>N/A</p> <p>Yes</p> <p>No – Acceptable</p>
Building Design		
- Building design is to interpret and respond to character of the locality.	<p>Rear addition design does not interpret and respond to the character of the locality including patterns, textures and compositions of buildings.</p> <p>As discussed above, it is recommended conditions are imposed to improve the design of the rear addition.</p>	No – To be conditioned

Rockdale DCP 2011	Proposal	Compliance
<ul style="list-style-type: none"> – Building articulation must respond to environmental conditions 	Generally, sufficient building articulation is incorporated in the design of the dwelling addition which takes into account the site specific environmental conditions.	Yes
<ul style="list-style-type: none"> – Architectural design features, are to be utilised to minimise blank walls. 	It is considered that architectural design features have been incorporated to minimise blank walls. The building is generally well articulated.	Yes
<ul style="list-style-type: none"> – Building heights should be sympathetic to the natural land form and topographical features of the site and to existing buildings in the immediate vicinity. 	Building height is well below the height limit and the rear addition appropriately steps down the site.	Yes
<ul style="list-style-type: none"> – Staircases leading to the first floor should be internal. 	All staircases to the first floor are internal.	Yes
<ul style="list-style-type: none"> – Split level dwellings should be considered in situations where a two storey building will be out of character with adjoining and nearby properties. 	Two storeys proposed which is not out of character.	Yes
<ul style="list-style-type: none"> – Balconies may be located up to 1.2m into the front setback. 	No balconies within front setback.	Yes
<ul style="list-style-type: none"> – Garages must be integrated with the overall design of the building in terms of height, form, materials, detailing and colour. 	Garage integrated into the design.	Yes
<ul style="list-style-type: none"> – Garages and carports are to be located a minimum distance of 300mm behind the front building line. 	Garage is behind the primary front building line.	Yes
<ul style="list-style-type: none"> – The total width of the garage doors which address the street must be a maximum width of 6.3m or 40% of the site frontage width, whichever is lesser. 	Garage width complies.	Yes
<ul style="list-style-type: none"> – Roof must provide continuity and character of streetscape. 	Contemporary flat roof is generally considered acceptable.	Yes
<ul style="list-style-type: none"> – Mansard roofs are prohibited. 	No mansard roof proposed	N/A
Additions to Semi-detached Buildings		
<ul style="list-style-type: none"> - Must not dominate or compromise the uniformity or geometry of the principal/street front elevation - First floor additions should be set back beyond apex or main ridge. 	Not applicable to subject development.	N/A
Attics		
<ul style="list-style-type: none"> - Attics may be habitable provided windows are small dormer windows - Attic roof space may be used provided it is: - contained wholly within the roof pitch 	No attics proposed.	N/A


Rockdale DCP 2011	Proposal	Compliance
<ul style="list-style-type: none"> - is part of the dwelling unit immediately below; and - is incapable of being used as separate unit - use of attic must not adversely impact on privacy of adjoining properties 		

Certification

I certify that all of the issues have been accurately and professionally examined by me.

Name: James Arnold

Position: Senior Planner, Creative Planning Solutions Pty Limited



Date: 17 August 2017

Our Ref: DA-2017/353
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NOTICE OF DETERMINATION

Issued in accordance with section 81(1a) of the *Environmental Planning and Assessment Act, 1979*

Application Number:	DA-2017/353
Property:	47 Churchill Street, BARDWELL PARK (Lot 112 DP 16044)
Proposal:	Alterations and additions to existing dwelling comprised of ground and first floor addition at the rear, new front fence and vehicular footway crossing
Authority:	Delegated to Bayside Planning Panel
Determination:	Approved
Date of determination:	
Date consent commences:	
Date consent lapses:	

The above development is approved subject to the following conditions:

General Conditions

The following conditions restrict the work to the detail provided in the Development Application and are to ensure that the development is complete.

1. The term of this consent is limited to a period of five (5) years from the date of the original approval. The consent will lapse if the development does not commence within this time.
2. The development must be implemented substantially in accordance with the plans listed below, the application form and on any supporting information received with the application, except as may be amended in red on the attached plans and by the following conditions.

Plan/Dwg No.	Drawn by	Dated	Received by Council
Architectural Plans, Drawing Nos. DA100 to DA105 inclusive, Revision C,	Michael Kitmiridis Architects	July 2017	7.07.2017

3. All new building work must be carried out in accordance with the provisions of the Building Code of Australia (BCA).
4. **A Construction Certificate must be obtained from Council or an Accredited Certifier prior to any building work commencing.**
5. The development must be implemented and all BASIX commitments thereafter maintained in accordance with BASIX Certificate Number (A280413) other than superseded by any further amended consent and BASIX certificate.
Note: Clause 145(1)(a1) of the Environmental Planning & Assessment Regulation 2000 provides: A certifying authority must not issue a construction certificate for building work unless it is satisfied of the following matters: -
 - (a1) that the plans and specifications for the building include such matters as each relevant BASIX certificate requires.**Note:** Clause 154B(2) of the Environmental Planning & Assessment Regulation 2000 provides: "A certifying authority must not issue a final occupation certificate for a BASIX affected building to which this clause applies unless it is satisfied that each of the commitments whose fulfilment it is required to monitor has been fulfilled."
Note: For further information please see <http://www.basix.nsw.gov.au>.
6. Further alterations and/or additions to the subject building shall not be undertaken without first obtaining approval. This includes the fitting of any form of doors and/or walls.
7. This approval is not to be construed as permission to erect any structure on or near a boundary contrary to the provisions of the Dividing Fences Act.

Development specific conditions

The following conditions are specific to the Development Application proposal.

8. The rainwater tank shall be routinely de-sludged and all contents from the de-sludging process disposed – solids to the waste disposal and de-sludged liquid to the sewer.
9. Residential air conditioners shall not cause 'offensive noise' as defined by the Protection of the Environment Operations Act 1997 or contravene provisions of the Protection of the Environment (Noise Control) Regulation 2008 where emitted noise from a residential air conditioner can be heard within a habitable room in any other residential premises at night.
10. Retaining walls over 600mm in height shall be designed and specified by a suitably qualified structural engineer.
11. Prior to the issue of a Construction Certificate, to ensure the rear addition is sympathetic to the traditional red-brick dwellings in the area, the following design changes are required to be made to the scheme:
 - The flat parapet roof of the rear addition is to be replaced with a skillion roof with eaves, a minimum slope of 5 degrees, and is to slope down to the southern/rear of the site. The highest point of the roof must be no higher than RL 50.05 to remain under the 8.5m height limit applicable for the site; and

- A window to the western street elevation of the rear addition is to be added to both the ground floor living area and the first-floor study room to soften the western elevation; and
- The front setback of the proposed garage from the Hutchinson Street boundary is to be increased to a minimum of 800mm.

Details of the above design changes are to be submitted with the Construction Certificate.

Prior to issue of the construction certificate

The following conditions must be completed prior to the issue of the Construction Certificate.

12. The following fees shall be paid to Council prior to the issue of a Construction Certificate. If payment is made after the end of the financial year, the amount shall be adjusted in accordance with Council's adopted fees and charges.
 - i. A Footpath Reserve Restoration Deposit of \$2,570.00. This is to cover repair of any damages, or other works to be done by Council. This includes construction, removal, or repair as required to: kerb and guttering, existing or new driveways; paved areas and concrete footpaths. The deposit may be lodged with Council in the form of a Bank Guarantee (Any proposed Bank Guarantee must not have an expiry date). The deposit will not be returned by Council until works are completed and all damage is restored and all specified works are completed by Council.
 - ii. An environmental enforcement fee of 0.25% of the cost of the works.
 - iii. A Soil and Water Management Sign of \$18.00.
13. For work costing \$25,000 or more, a Long Service Leave Levy shall be paid. For further information please contact the Long Service Payments Corporation on their Helpline 13 1441.
14. An application for Boundary levels shall be made to Council's Customer Service Centre prior to issue of the Construction Certificate. All boundary works, egress paths, driveways and fences shall comply with this level.
A fee is payable to Council for the determination of boundary levels. If payment is made after the end of the financial year, the amount shall be adjusted in accordance with Council's adopted fees and charges.
15. a. Pursuant to section 94A of the Environmental Planning and Assessment Act 1979 and Rockdale Section 94A Development Contributions Plan 2008, a report is to be submitted to Council, prior to approval of the first Part 4A certificate required for the development, identifying the proposed cost of carrying out the development, as follows:
 - i. Where the proposed cost of carrying out the development is less than \$1,000,000, a cost summary report prepared and certified by a building industry professional, or
 - ii. Where the proposed cost of carrying out the development is \$1,000,000 or more, a detailed cost report prepared and certified by a quantity surveyor registered with the Australian Institute of Quantity Surveyors or a person who can demonstrate equivalent qualifications. This report is to be prepared in the form specified in Rockdale Section 94A Development Contributions Plan 2008 and the costs must be determined in accordance

with clause 25J of the Environmental Planning and Assessment Regulation 2000.

Note:

1. Council may review the costs contained in the report and may seek the services of an independent person to verify them. In such a case, all costs associated with obtaining this advice will be at the expense of the applicant and no Part 4A certificate is to be issued until such time as these costs have been paid.

2. The proposed cost of carrying out the development excludes any part of the proposed development that is exempt from the section 94A levy by reason of a Ministerial direction or an exemption specified in Rockdale Section 94A Development Contributions Plan 2008. Where the applicant considers that the proposed development, or any part of it, is or should be exempt from the levy they may submit to Council, prior to approval of the required certificate, an application for exemption giving reasons and providing any necessary evidence for the exemption.

b. Where the proposed cost of carrying out the development, as specified in the cost summary report, the registered surveyor's detailed cost report or the independent review of costs obtained by Council (as the case may be), is more than \$100,000 a section 94A levy is to be paid to Council for the following amount:

- i. Where the proposed cost of carrying out the development is greater than \$100,000 but not more than \$200,000 – 0.5% of that cost, or
- ii. Where the proposed cost of carrying out the development is greater than \$200,000 – 1% of that cost.

This levy is to be paid prior to the issue of the first Part 4A certificate required for the development.

If the levy is not paid within the same financial year as the date on which Council accepted the cost summary report, the registered surveyor's detailed cost report or the independent review of costs (as the case may be), the amount of the levy is to be adjusted at the time of actual payment to reflect changes in construction costs, in accordance with the provisions of Rockdale Section 94A Development Contributions Plan 2008.

Note: This requirement to pay the section 94A levy does not apply if the proposed cost of carrying out the development is \$100,000 or less or Council has confirmed in writing that the proposed development is exempt from the levy.

16. Prior to the issue of the Construction Certificate, the approved plans must be submitted to Sydney Water Tap in™ online service to determine whether the development will affect any Sydney Water sewer or water main, stormwater drains and/or easement, and if further requirements need to be met.

Sydney Water's Tap in™ online service is available at:

<https://www.sydneywater.com.au/SW/plumbing-building-developing/building/sydney-water-tap-in/index.htm>

17. Prior to issue of the Construction Certificate, a longitudinal driveway profile shall be submitted to Principal Certifying Authority for assessment and approval. The profile shall start in the centre of the road and be along the critical edge (worst case) of the driveway. Gradients and transitions shall be in accordance with Council's Code. The profile shall be drawn to a scale of 1 to 25 and shall include all relevant levels, grades

(%) and lengths.

18. Prior to the issue of the Construction Certificate, amended detailed drainage design plans for the management of stormwater are to be submitted to the Private Certifying Authority (PCA) for assessment and approval.

The stormwater management plan is to be amended as outlined below:

- The stormwater plan is to be updated as per the approved architectural plans.
- Surface grates and catch pits are to be provided capturing surface runoff
- Subsoil drainage is to be provided for the retaining wall structures
- A minimum 2500 litre rainwater reuse tank is to be provided to collect all roof water runoff.

Rainwater harvested must be used in the following:

- Toilet flushing
- At least one outdoor tap in the development
- Irrigation/gardening purpose

Design certification, in the form specified in Rockdale Technical Specification Stormwater Management, and drainage design calculations are to be submitted with the Construction Certificate plans. Council's Rockdale Technical Specification Stormwater Management sets out the minimum documentation requirements for detailed design plans. Stormwater management requirements for the development site, including the final discharge/end connection point, must comply with Rockdale Technical Specification Stormwater Management.

19. Proposed stair within the garage to be relocated to provide minimum 5.4m clear length for the car parking spaces.

Prior to commencement of works

The following conditions must be completed prior to the commencement of works.

20. A Soil and Water Management Plan shall be prepared. The Plan must include details of the proposed erosion and sediment controls to be installed on the building site. A copy of the Soil and Water Management Plan must be kept on-site at all times and made available on request.

Soil and sedimentation controls are to be put in place prior to commencement of any work on site. The controls are to be maintained in effective working order during construction.

Council's warning sign for soil and water management must be displayed on the most prominent point on the building site, visible to both the street and site workers. The sign shall be erected prior to commencement of works and shall be displayed throughout construction.

21. A sign must be erected at the front boundary of the property clearly indicating the Development Approval Number, description of work, builder's name, licence number and house number before commencement of work. If owner/builder, the Owner/Builder Permit Number must be displayed.
22. Prior to the commencement of work, Tree Protection Zones shall be established with protective fences at least 1.5 metres high erected outside the drip lines where possible around each tree or group of trees which is required to be retained. The

protective fences shall consist of parawebbing or chain wire mesh mounted on star pickets or similar metal posts, shall be in place prior to the commencement of any work on site and shall remain until the completion of all building and hard landscape construction. Excavations for services, waste bins, storage of materials and equipment, site residue, site sheds, vehicle access or cleaning of tools and equipment are not permitted within the Tree Protection Zones at any time.

23. Prior to the commencement of any work on site, a sign shall be placed in a prominent position on each protective fence identifying the area as a Tree Protection Zone and prohibiting vehicle access, waste bins, storage of materials and equipment, site residue and excavations within the fenced off area.
24. Where it is necessary to import landfill material onto the site to fill the land to levels shown on the plans forming part of the consent, a certificate, prepared by a suitably qualified and experienced Contaminated Land Consultant, shall be submitted to Council being the Regulatory Authority prior to the commencement of works, certifying that the imported fill is suitable for the land use.
25. The site shall be secured by a 1800 mm (minimum) high temporary fence for the duration of the work. Gates shall be provided at the opening points.

During demolition / excavation / construction

The following conditions must be complied with during demolition, excavation and or construction.

26. A copy of the Construction Certificate and the approved plans and specifications must be kept on the site at all times and be available to Council officers upon request.
27. Hours of construction shall be confined to between 7 am and 6.30 pm Mondays to Fridays, inclusive, and between 8 am and 3.30 pm Saturdays with no work being carried out on Sundays and all public holidays.
28. For Class 1 and 10 structures, the building works are to be inspected during construction, by the principal certifying authority (or other suitably qualified person on behalf of the principal certifying authority) to monitor compliance with Council's approval and the relevant standards of construction encompassing the following stages:
 - i. after excavation for, and prior to the placement of, any footings, and
 - ii. prior to pouring any in-situ reinforced concrete building element, and
 - iii. prior to covering the framework for any floor, wall, roof or other building element, and
 - iv. prior to covering waterproofing in any wet areas, and
 - v. prior to covering any stormwater drainage connections, and
 - vi. after the building work has been completed and prior to any occupation certificate being issued in relation to the building.

Documentary evidence of compliance with Council's approval and relevant standards of construction is to be obtained prior to proceeding to the subsequent stages of construction and copies of the documentary evidence are to be maintained by the principal certifying authority and be made available to Council officers upon request.

29. Upon inspection of each stage of construction, the Principal Certifying Authority (or other suitably qualified person on behalf of the Principal Certifying Authority) is also required to ensure that adequate provisions are made for the following measures (as applicable), to ensure compliance with the terms of Council's approval:

- Sediment control measures
 - Provision of perimeter fences or hoardings for public safety and restricted access to building sites.
 - Maintenance of the public place free from unauthorised materials, waste containers or other obstructions.
30. To protect the stability of the building during demolition, steel bracework shall be erected.
31. Demolition operations shall not be conducted on the roadway or public footway or any other locations, which could lead to the discharge of materials into the stormwater drainage system.
32. All waste generated on site shall be disposed of in accordance with the submitted Waste Management Plan.
33. A Registered Surveyor's check survey certificate or compliance certificate shall be forwarded to the certifying authority detailing compliance with Council's approval at the following stage/s of construction:
- i. After excavation work for the footings, but prior to pouring of concrete, showing the area of the land, building and boundary setbacks.
 - ii. Prior to construction of each floor level showing the area of the land, building and boundary setbacks and verifying that the building is being constructed at the approved level.
 - iii. Prior to fixing of roof cladding verifying the eave, gutter setback is not less than that approved and that the building has been constructed at the approved levels.
 - iv. On completion of the building showing the area of the land, the position of the building and boundary setbacks and verifying that the building has been constructed at the approved levels.
 - v. On completion of the drainage works (comprising the drainage pipeline, pits, overland flow paths, on-site detention or retention system, and other relevant works) verifying that the drainage has been constructed to the approved levels, accompanied by a plan showing sizes and reduced levels of the elements that comprise the works.
34. When soil conditions require it:
- i. retaining walls associated with the erection or demolition of a building or other approved methods of preventing movement of the soil shall be provided, and
 - ii. adequate provision shall be made for drainage.
35. Provide drop edge beams where and if necessary to contain all filling within the building envelope.
36. All contractors shall comply with the following during all stages of demolition and construction:
- A Waste Container on Public Road Reserve Permit must be obtained prior to the placement of any waste container or skip bin in the road reserve (i.e. road or footpath or nature strip). Where a waste container or skip bin is placed in the road reserve without first obtaining a permit, the Council's fees and penalties will be deducted from the Footpath Reserve Restoration Deposit. Permits can be obtained from Council's Customer Service Centre.
 - A Road Opening Permit must be obtained prior to any excavation in the road reserve (i.e. road or footpath or nature strip). Where excavation is carried out

on the road reserve without first obtaining a permit, the Council's fees and penalties will be deducted from the Footpath Reserve Restoration Deposit. Permits can be obtained from Council's Customer Service Centre.

- A Hoarding Permit must be obtained prior to the erection of any hoarding (Class A or Class B) in the road reserve (i.e. road or footpath or nature strip). Where a hoarding is erected in the road reserve without first obtaining a permit, the Council's fees and penalties will be deducted from the Footpath Reserve Restoration Deposit. Permits can be obtained from Council's Customer Service Centre.
- A Crane Permit must be obtained from Council prior to the operation of any activity involving the swinging or hoisting of goods across or over any part of a public road by means of a lift, hoist or tackle projecting over the footway. Permits can be obtained from Council's Customer Service Centre.
- A current Permit to Dewater or Pump Out a site must be obtained prior to the discharge of pumped water into the road reserve, which includes Council stormwater pits and the kerb and gutter. Permits can be obtained from Council's Customer Service Centre.

37. All demolition work shall be carried out in accordance with AS2601 – 2001: The Demolition of Structures and with the requirements of the WorkCover Authority of NSW.

38. The following conditions are necessary to ensure minimal impacts during construction:

- i. Building, demolition and construction works not to cause stormwater pollution and being carried out in accordance with Section 2.8 of Council's Stormwater Pollution Control Code 1993. Pollutants such as concrete slurry, clay and soil shall not be washed from vehicles onto roadways, footways or into the stormwater system. Drains, gutters, roadways and access ways shall be maintained free of sediment. Where required, gutters and roadways shall be swept regularly to maintain them free from sediment.
- ii. Stormwater from roof areas shall be linked via a temporary downpipe to an approved stormwater disposal system immediately after completion of the roof area.
- iii. All disturbed areas shall be stabilised against erosion within 14 days of completion, and prior to removal of sediment controls.
- iv. Building and demolition operations such as brickcutting, washing tools or paint brushes, and mixing mortar shall not be performed on the roadway or public footway or any other locations which could lead to the discharge of materials into the stormwater drainage system.
- v. Stockpiles are not permitted to be stored on Council property (including nature strip) unless prior approval has been granted. In addition stockpiles of topsoil, sand, aggregate, soil or other material shall be stored clear of any drainage line or easement, natural watercourse, kerb or road surface.
- vi. Wind blown dust from stockpile and construction activities shall be minimised by one or more of the following methods:
 - a) spraying water in dry windy weather
 - b) cover stockpiles
 - c) fabric fences

- vii. Access to the site shall be restricted to no more than two 3m driveways. Council's footpath shall be protected at all times. Within the site, provision of a minimum of 100mm coarse crushed rock is to be provided for a minimum length of 2 metres to remove mud from the tyres of construction vehicles.

An all weather drive system or a vehicle wheel wash, cattle grid, wheel shaker or other appropriate device, shall be installed prior to commencement of any site works or activities, to prevent mud and dirt leaving the site and being deposited on the street. Vehicular access is to be controlled so as to prevent tracking of sediment onto adjoining roadways, particularly during wet weather or when the site is muddy. Where any sediment is deposited on roadways it is to be removed by means other than washing and disposed of appropriately.

In addition builders / demolishers are required to erect a 1.5m high fence along the whole of the street alignment other than at the two openings. Such protection work, including fences, is to be constructed, positioned and maintained in a safe condition to the satisfaction of the Principal Certifying Authority, prior to the demolition of the existing structures and commencement of building operations.

- viii. Any noise generated during construction of the development shall not exceed limits specified in any relevant noise management policy prepared pursuant to the Protection of the Environment Operations Act, 1997 or exceed approved noise limits for the site.

39. Council's warning sign for soil and water management must be displayed on the most prominent point on the building site, visible to both the street and site workers. The sign must be displayed throughout construction. A copy of the sign is available from Council.
40. Trees located within the vicinity of the proposed rear additions may be removed.
41. No other trees located within the site, adjoining properties or Council's nature strip shall be removed or pruned without the prior written consent of Council in the form of a Permit issued under Council's Development Control Plan 2011.
42. Where drainage or paving works are proposed to be constructed in the area below the dripline of trees, the proposed works and construction methods must not damage the tree. Where either the trees or works were not shown in detail on the approved plans, then Council approval must be obtained by contacting Council's Tree Management Officer.
43. Underground Services such as pipelines or cables to be located close to trees, must be installed by boring or by such other method that will not damage the tree rather than open trench excavation. The construction method must be approved by Council's Tree Management Officer.
44. Existing soil levels within the drip line of trees to be retained shall not be altered without reference to Council's Tree Management Officer.
45. Building materials, site residue, machinery and building equipment shall not be placed or stored under the dripline of trees required to be retained.

Prior to issue of occupation certificate or commencement of use

The following conditions must be complied with prior to issue of the Occupation Certificate or Commencement of Use.

46. An Occupation Certificate shall be obtained in relation to the approved works prior to any use or occupation of the building.
47. Where Council's park/reserve is damaged as a result of building work or vehicular building traffic, this area shall be restored by Council at the applicant's expense. Repairs shall be completed prior to the issue of the Occupation Certificate.
48. All excess excavated material, demolition material, vegetative matter and builder's rubbish shall be removed to the Waste Disposal Depot or the Regional Tip prior to final inspection.
Note: Burning on site is prohibited.
49. All works within the road reserve, which are subject to approval pursuant to Section 138 of the Roads Act 1993, shall be completed and accepted by council.
50. Prior to completion of the building works, a full width vehicular entry is to be constructed to service the property. Any obsolete vehicular entries are to be removed and reconstructed with kerb and gutter. This work may be done using either a Council quote or a private contractor. There are specific requirements for approval of private contractors.
51. The width of the single driveway shall be maximum of 5.5m at the property boundary.
52. Prior to occupation, a registered surveyor shall certify that the driveway(s) over the footpath and within the property have been constructed in accordance with the approved driveway profile(s). The certification shall be based on a survey of the completed works. A copy of the certificate and a works-as-executed driveway profile shall be provided to Council if Council is not the Principal Certifying Authority.
53. Prior to occupation a Chartered Professional Engineer shall certify that the stormwater system has been constructed in accordance with the approved plans and as required by Rockdale Technical Specification Stormwater Management. The certificate shall be in the form specified in Rockdale Technical Specification Stormwater Management and include an evaluation of the completed drainage works. A works-as-executed drainage plan shall be prepared by a registered surveyor based on a survey of the completed works. A copy of the certificate and works-as-executed plan(s) shall be supplied to the Principal Certifying Authority. A copy shall be provided to Council if Council is not the Principal Certifying Authority.
54. The owner of the premises is required to comply with the following requirements when installing a rainwater tank:
 - Inform Sydney Water that a Rainwater tank has been installed in accordance with applicable requirements of Sydney Water.
 - The overflow from the rainwater tank shall be directed to the storm water system.
 - All plumbing work proposed for the installation and reuse of rainwater shall comply with the NSW Code of Practice: Plumbing and Drainage and be installed in accordance with Sydney Water "Guidelines for rainwater tanks on residential properties.
 - A first flush device shall be installed to reduce the amount of dust, bird faeces, leaves and other matter entering the rainwater tank.

Roads Act

55. The following works will be required to be undertaken in the road reserve at the applicant's expense:

- i) construction of a new fully constructed concrete vehicular entrance;
 - ii) removal of the existing concrete vehicular entrances, and/or kerb laybacks which will no longer be required;
 - iii) removal of redundant paving;
 - iv) construction of kerb and gutter.
56. All footpath, or road and drainage modification and/or improvement works to be undertaken in the road reserve shall be undertaken by Council, or by a Private Licensed Contractor subject to the submission and approval of a Private Contractor Permit, together with payment of all inspection fees. An estimate of the cost to have these works constructed by Council may be obtained by contacting Council. The cost of conducting these works will be deducted from the Footpath Reserve Restoration Deposit, or if this is insufficient the balance of the cost will be due for payment to Council upon completion of the work.
 57. This Roads Act approval does not eradicate the need for the Contractor to obtain a Road Opening Permit prior to undertaking excavation in the road or footpath.
 58. Any driveway works to be undertaken in the footpath reserve by a private contractor requires an "Application for Consideration by a Private Contractor" to be submitted to Council together with payment of the application fee. Works within the footpath reserve must not start until the application has been approved by Council.
 59. Following completion of concrete works in the footpath reserve area, the balance of the area between the fence and the kerb over the full frontage of the proposed development shall be turfed with either buffalo or couch (not kikuyu).

Development consent advice

- a. You are advised to consult with your utility providers (i.e. Energy Aust, Telstra etc) in order to fully understand their requirements before commencement of any work.
- b. If Council is appointed as the Principal Certifying Authority (PCA), a fee shall be paid before a Construction Certificate is issued. If the fee is paid after the end of the financial year, it will be adjusted in accordance with Council's adopted fees and charges. The fees charged encompass all matters related to ensuring that the proposed development is carried out in accordance with the approved plans and any post inspection issues that may arise.
- c. The water from the rainwater tank should not be used for drinking, Sydney Water shall be advised of the installation of the rainwater tank.
- d. All site works shall comply with the occupational health and safety requirements of the NSW WorkCover Authority.
- e. In the event of any inconsistency between conditions of this approval and the drawings/documents referred to in condition 2, the conditions of this approval prevail.

Additional Information

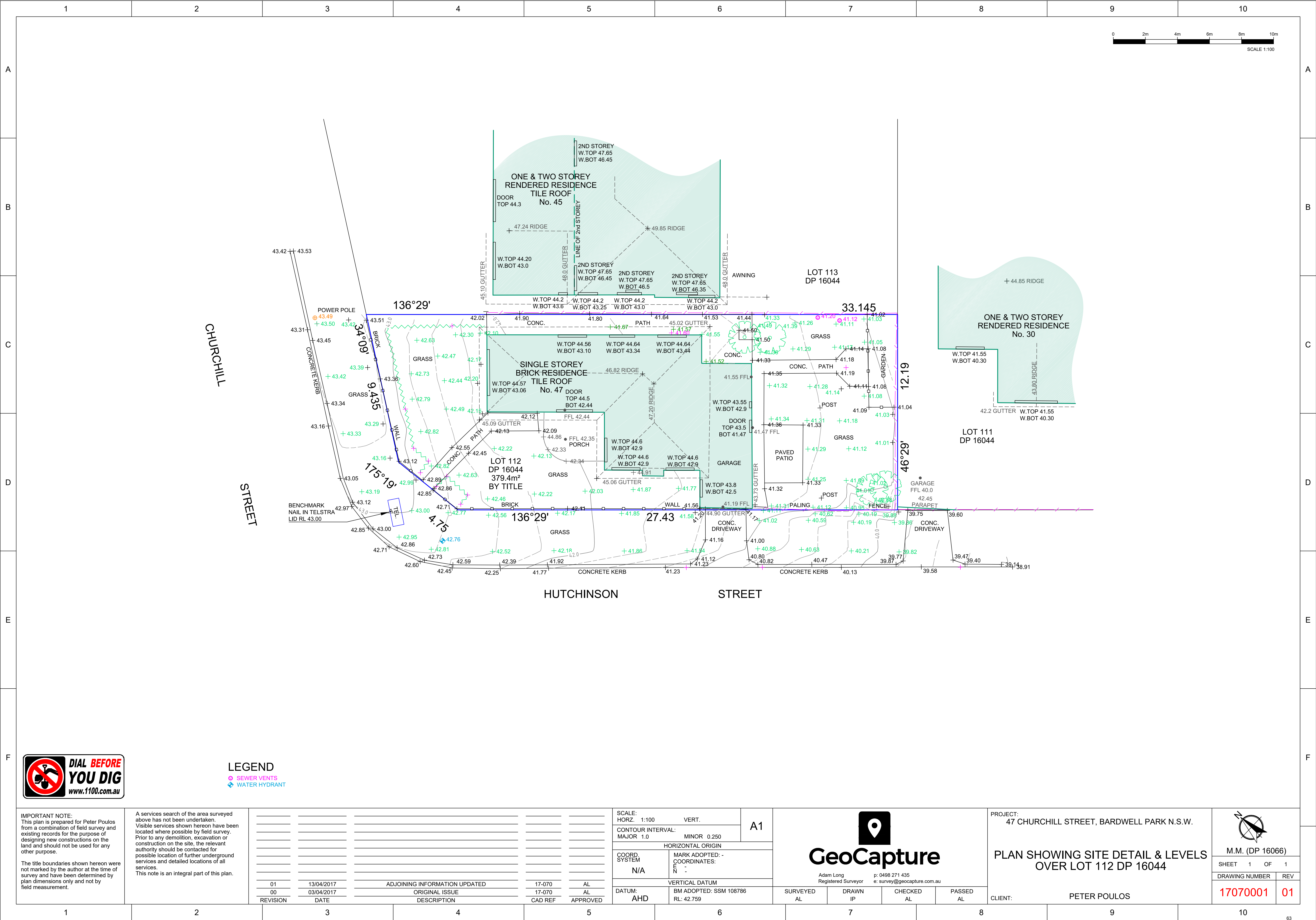
- To confirm the date upon which this consent becomes effective, refer to Section 83 of the *Environmental Planning and Assessment Act, 1979*. Generally the consent becomes effective from the determination date shown on the front of this notice. However if unsure applicants should rely on their own enquiries.
- To confirm the likelihood of consent lapsing, refer to Section 95 of the Act. Generally consent lapses if the development is not commenced within five (5) years of the date

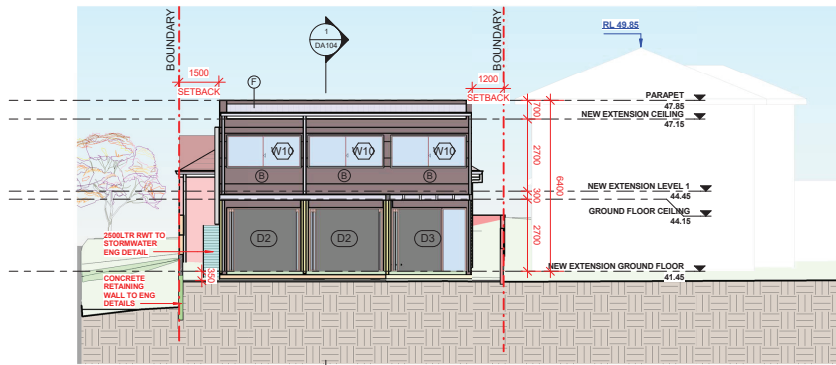
of approval. However if a lesser period is stated in the conditions of consent, the lesser period applies. If unsure applicants should rely on their own enquiries.

- Section 82A allows Council to reconsider your proposal. Should you wish to have the matter reconsidered you should make an application under that section with the appropriate fee.
- Under Section 97 of the Act applicants who are dissatisfied with the outcome of a consent authority have a right of appeal to the Land and Environment Court. This right must be exercised within six (6) months from the date of this notice. The Court's Office is situated at Level 1, 225 Macquarie Street, Sydney (Telephone 9228 8388), and the appropriate form of appeal is available from the Clerk of your Local Court.

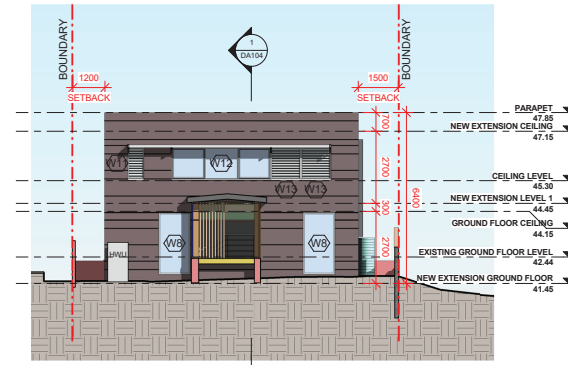
Should you have any further queries please contact Michael Maloof on 9562 1666

Luis Melim
Manager - Development Services

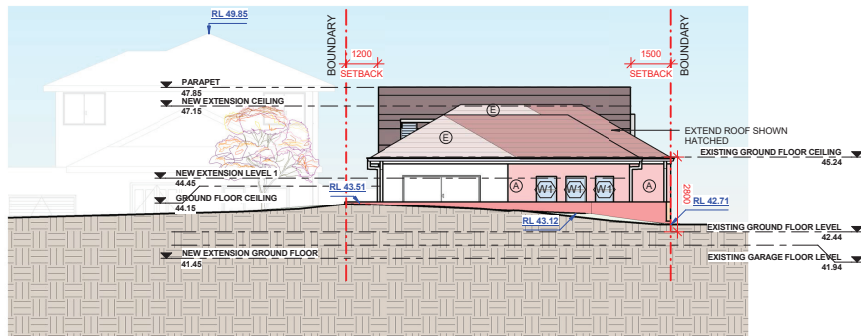




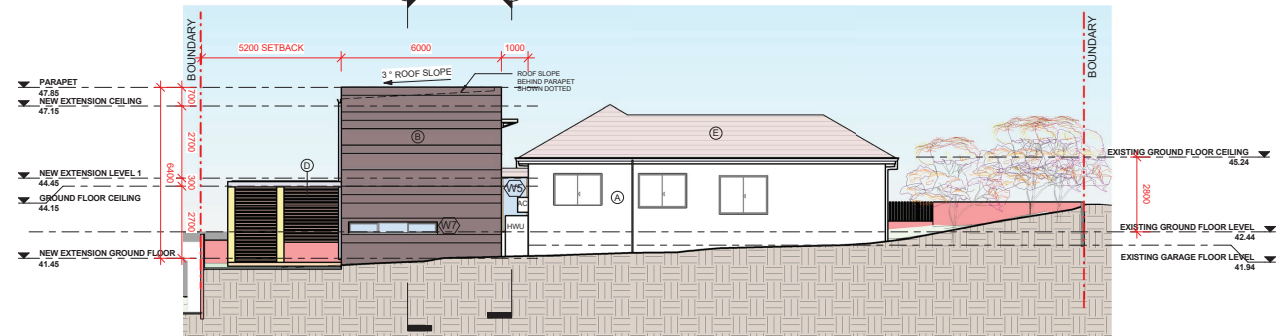
1 South Elevation
1: 100



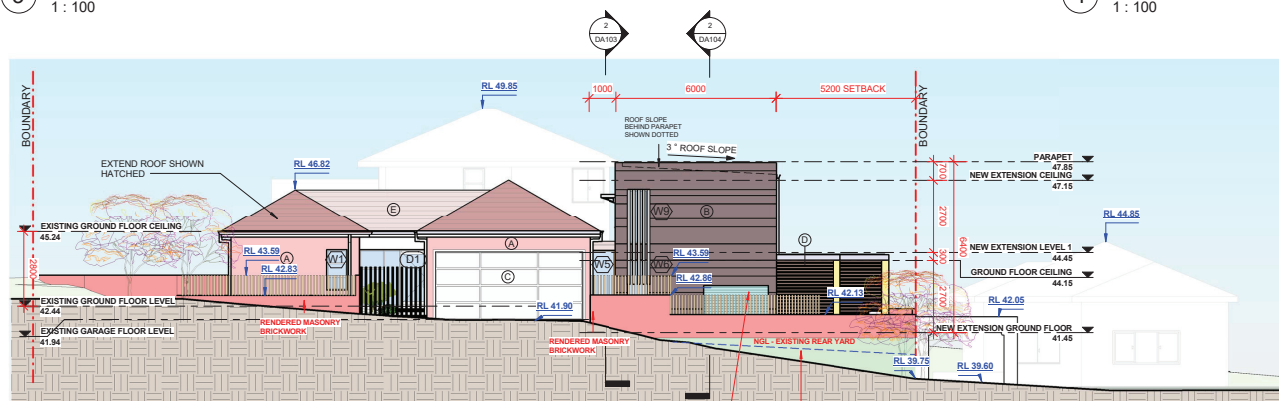
2 Section A-A
1: 100



3 North Elevation Streetscape
1: 100



4 East Elevation
1: 100



5 West Elevation Streetscape
1: 100

FINISHES SCHEDULE

KEY	MATERIALS	COLOUR / FINISH	IMAGE REFERENCE	SWATCH REF.
A	BRICK	MATCH EXISTING		
B	METAL CLADDING	METAL CLADDING - PIGMENTO RED		
C	GARAGE DOOR	COLOURBOND DOOR - DUNE		
D	TIMBER PRIVACY LOUVRES FROM MAXIM LOUVRES OR SIMILAR	RED CEDAR OR SIMILAR		
E	ROOF TILES	CONCRETE TILES AS SELECTED		
F	COLORBOND ROOF	SHALE GREY		

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SCALE

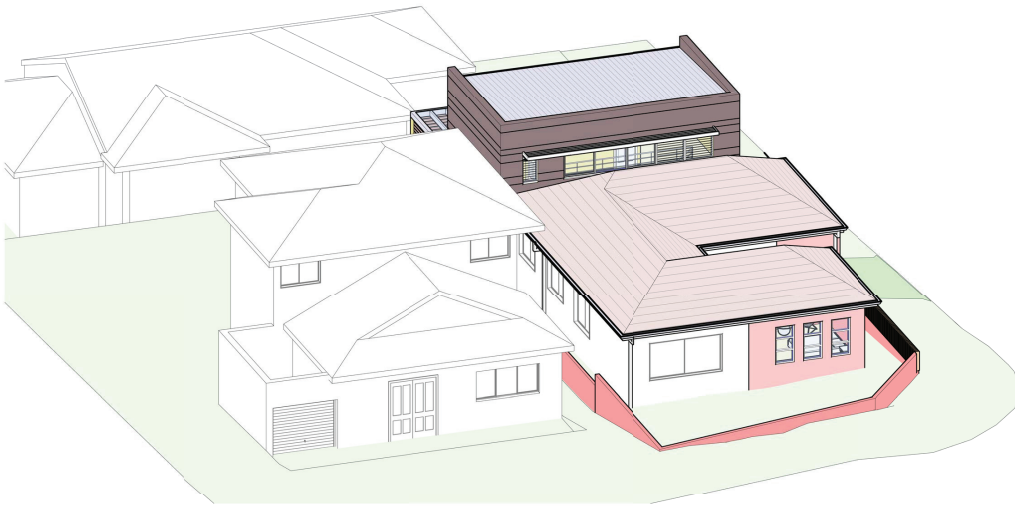
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ISSUE	AMENDMENTS	DATE
A	DEVELOPMENT APPLICATION	MAY 17
B	RESUBMISSION WITH ADDITIONAL DIMENSIONS	MAY 17
C	DOUBLE GARAGE AND REDUCTION OF BEDROOMS	JULY 17

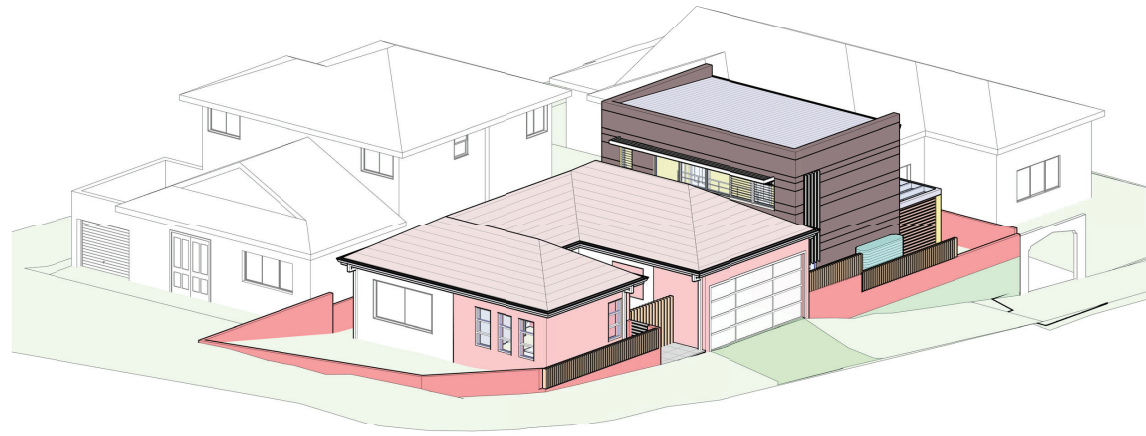


BAR

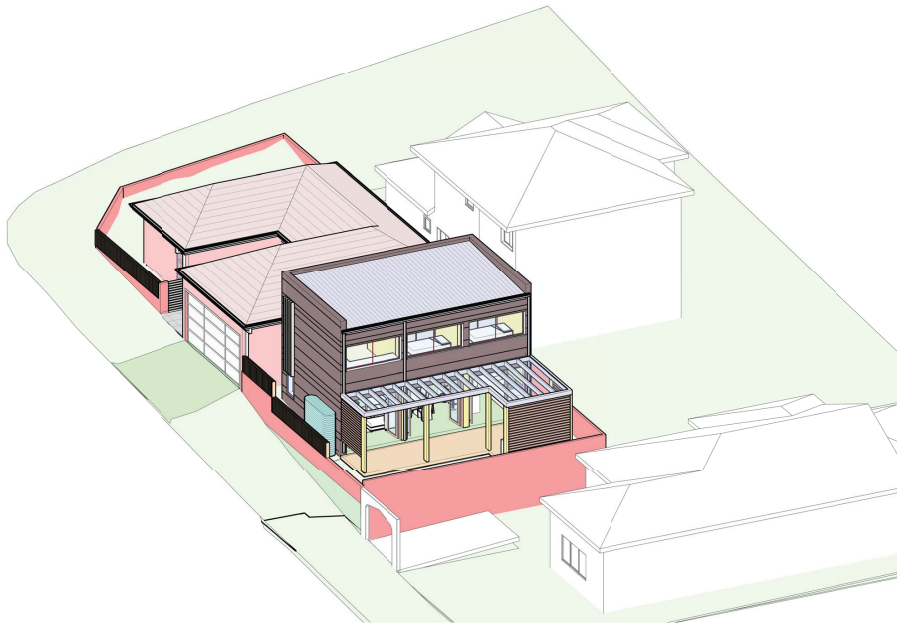
NORTH	DP NUMBER DP 16844	ARCHITECT MKa MICHAEL KTMIRIDIS RAA ARCHITECT REG. NO. 5483 www.mka.net.au	PROJECT: ALTERATIONS AND ADDITIONS TO RESIDENCE ADDRESS: 47 CHURCHILL STREET, BARDWELL PARK DRAWING: ELEVATIONS / STREETSAPES / SECTION A-A / FINISHES	DATE JULY 17	PROJECT NUMBER DA103	ISSUE C
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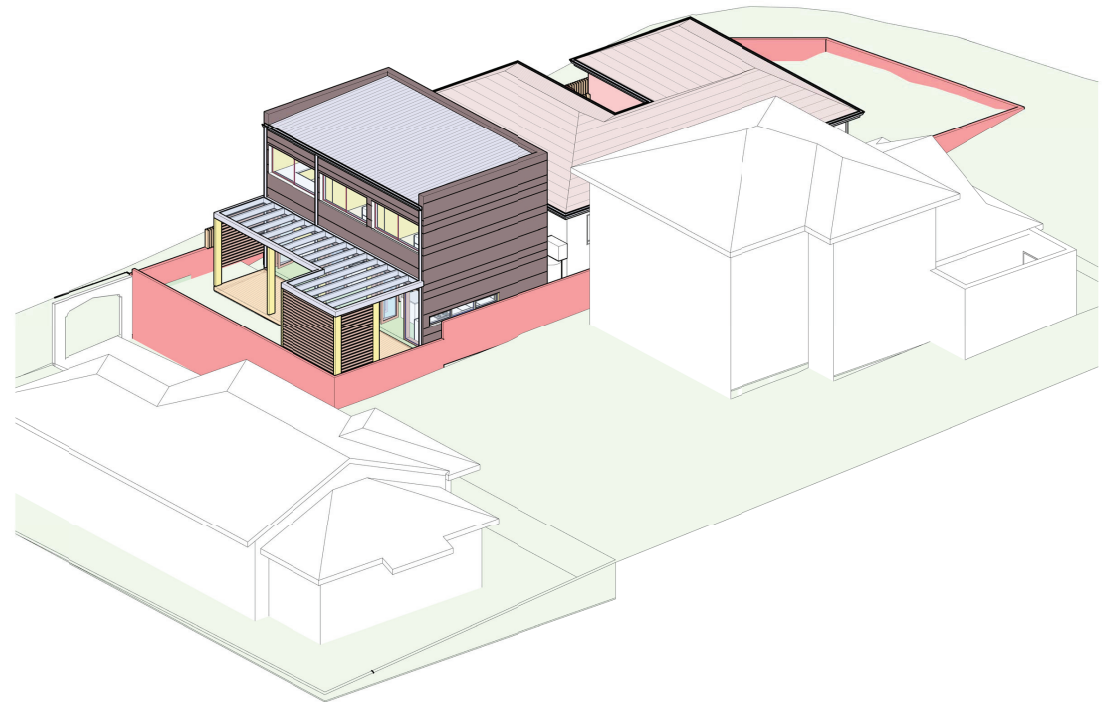
AERIAL VIEW FROM CHURCHILL STREET



AERIAL VIEW FROM CORNER OF CHURCHILL STREET AND HUTCHINSON STREET



AERIAL VIEW FROM HUTCHINSON STREET



EAST AERIAL VIEW

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C	DOUBLE GARAGE AND REDUCTION OF BEDROOMS	JULY 17



SITE



NORTH

DP NUMBER/D DP 16844
LOT NUMBER LOT 112
SITE AREA SQ.M. 379.4sqm

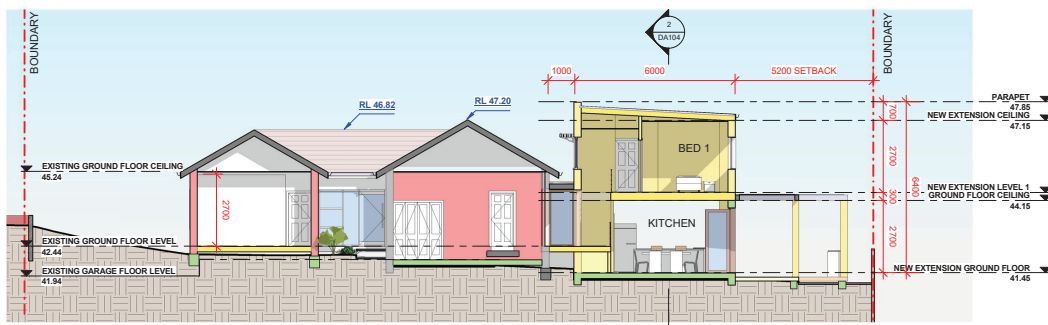
ARCHITECT
MKa
MICHAEL KTITORIDIS RAA
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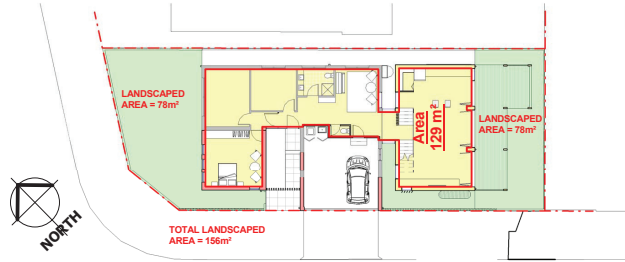
PROJECT:
ALTERATIONS AND ADDITIONS TO RESIDENCE
ADDRESS:
47 CHURCHILL STREET, BARDWELL PARK
DRAWING:
PERSPECTIVES

DATE JULY 17	PROJECT NUMBER 66	ISSUE C
DRAWN BY	SCALE	DA105

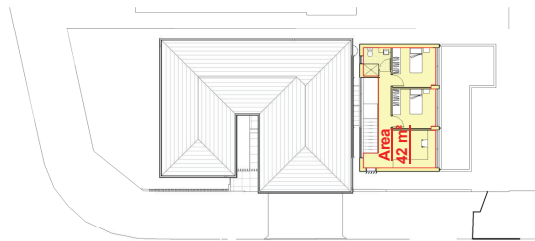
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1 SECTION B-B
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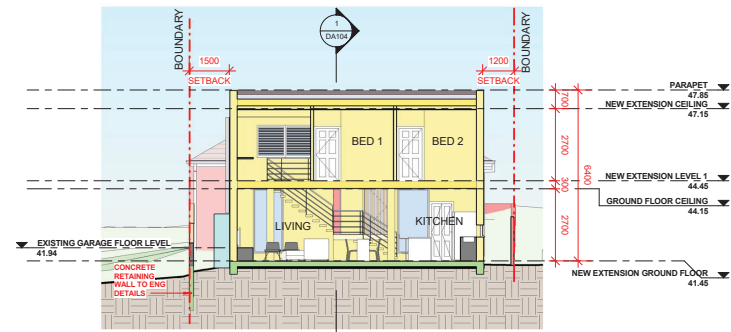
NEW GROUND FLOOR LEVEL
1:200



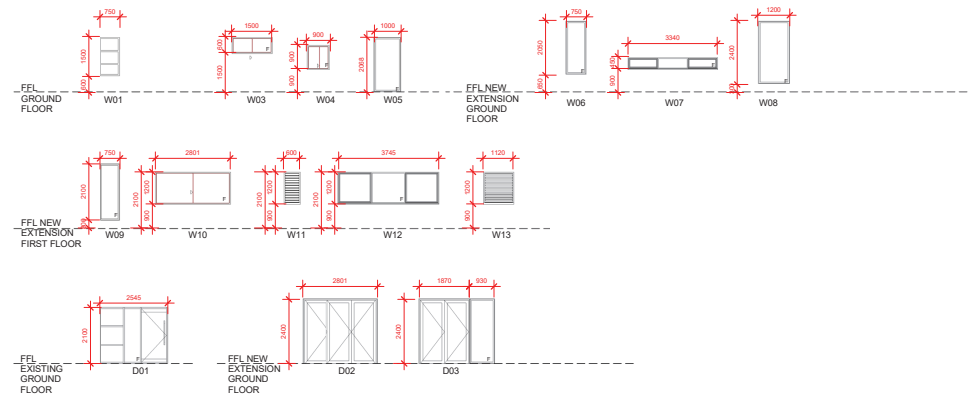
NEW EXTENSION LEVEL 1
1:200

EXISTING GROUND FLOOR LEVEL
1:200

SITE AREA=	379.4m ²
EXISTING AREA: GROUND FLOOR=	75m ²
PROPOSED AREA: GROUND FLOOR AREA=	129m ²
FIRST FLOOR AREA=	42m ²
PROPOSED TOTAL AREA=	171m ²
PROPOSED GFA=	171m ²
PERMISSIBLE GFA=	189.7m ²
PROPOSED FSR=	0.45:1
PERMISSIBLE FSR=	0.50:1
LANDSCAPED AREA=	156m ²
SITE COVERAGE=	41%



2 SECTION C-C
1 : 100



WINDOW AND DOOR SCHEDULE
1:100



7 SHADOW - 9AM JUNE 22 1 : 500
8 SHADOW - 12 JUNE 22 1 : 500
9 SHADOW - 3PM JUNE 22 1 : 500
10 SHADOW - 9AM MAR / SEPT 22 1 : 500
11 SHADOW - 12 MAR / SEPT 22 1 : 500
12 SHADOW - 3PM MAR / SEPT 22 1 : 500

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BASIC

DP NUMBERS/	DP 16844
LOT NUMBERS	LOT 112
SITE AREA SQM.	379.4m ²

ARCHITECT
Mka
MICHAEL KTMIRIDIS RAA
ARCHITECT REG. NO. 5483
www.mka.net.au

Mka
T: 02 839 7008
PO BOX 1188 Alexandria 2015

PROJECT:
ALTERATIONS AND ADDITIONS TO RESIDENCE
ADDRESS:
47 CHURCHILL STREET, BARDWELL PARK
DRAWING:
SECTION B-B / SECTION C-C / GFA
CALCULATIONS / WINDOW AND DOOR
SCHEDULE / SHADOWS

DATE	JULY 17	PROJECT NUMBER	DA104	WAVE	C
DRAWN BY		SCALE	As indicated		

DEVELOPMENT APPLICATION
ALTERATIONS AND ADDITIONS TO RESIDENCE
47 CHURCHILL ST BARDWELL PARK

Sheet List	
Sheet Number	Sheet Name
DA100	COVER SHEET / SITE ANALYSIS / PERSPECTIVES
DA101	SITE / ROOF PLAN / DEMOLITION PLAN
DA102	GROUND FLOOR / FIRST FLOOR / BASIX
DA103	ELEVATIONS / STREETSCAPES / SECTION A-A / FINISHES
DA104	SECTION B-B / SECTION C-C / GFA CALCULATIONS / WINDOW AND DOOR SCHEDULE / SHADOWS
DA105	PERSPECTIVES



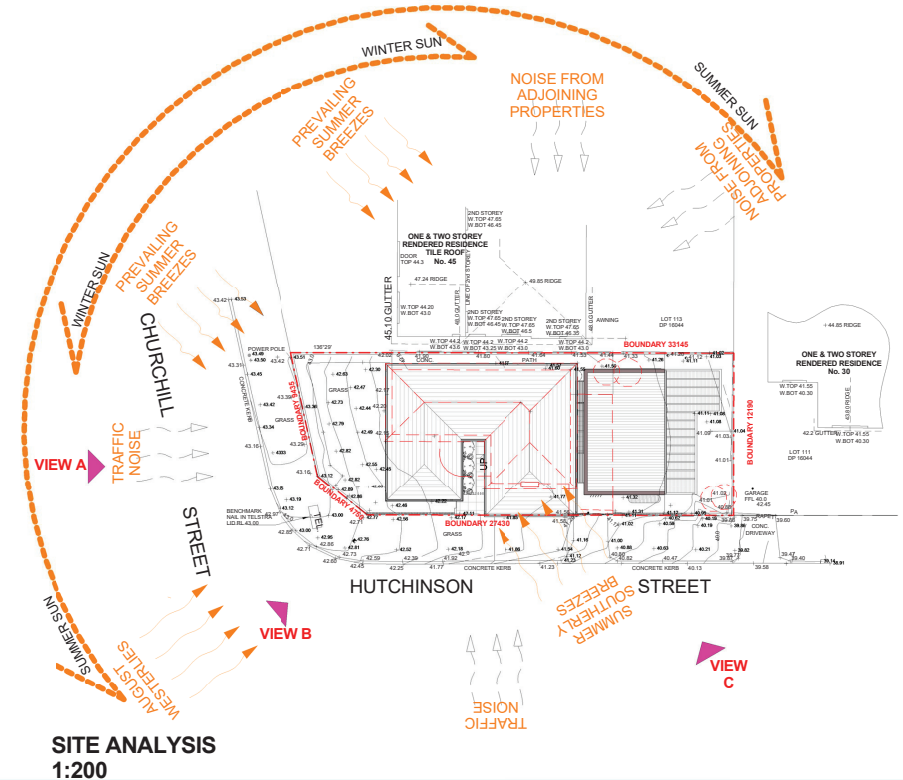
VIEW A - VIEW FROM CHURCHILL STREET



VIEW B - VIEW FROM CORNER OF CHURCHILL STREET AND HUTCHINSON STREET



VIEW C - VIEW FROM HUTCHINSON STREET



PERSPECTIVE FROM HUTCHINSON STREET



PERSPECTIVE FROM HUTCHINSON STREET

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	A	DEVELOPMENT APPLICATION	MAY 17
	B	RESUBMISSION WITH ADDITIONAL DIMENSIONS	MAY 17
	C	DOUBLE GARAGE AND REDUCTION OF BEDROOMS	JULY 17



DP NUMBER(S) DP 16044
LOT NUMBERS LOT 112
SITE AREA SQ.M. 379.4m ²



PROJECT:	ALTERATIONS AND ADDITIONS TO RESIDENCE
ADDRESS:	47 CHURCHILL STREET, BARDWELL PARK
DRAWING:	68
COVER SHEET / SITE ANALYSIS / PERSPECTIVES	

DATE JULY 17	PROJECT NUMBER	ISSUE
DRAWN BY		C
SCALE 1 : 200	DA100	